

PLANNING BOARD
MEETING TIME 7:00 PM - MAIN MEETING ROOM
FEBRUARY 4, 2026

1. OPENING STATEMENT

2. ROLL CALL

MR. DAVID MERCES Class IV Member	MR. PAUL SABELLA Class I/Mayor's Designee
MR. CARL RATHJEN Class IV Member	MR. JOHN RENTSCHLER Class II/Public Official Member
MR. KEVIN COLANGELO Class IV Member	MR. KEVIN SETTEMBRINO Class III/Township Committee Member
MR. STEVE SCHWEIZER Class IV Member	
MR. VLAD BERSON Class IV Member	MR. JAY BANASIAK Alternate #1
MR. JOSEPH AMECANGELO Class IV Member	MR. JAMES PISANO Alternate #2

3. SALUTE TO THE FLAG

4. READING OF AGENDA BY THE SECRETARY

5. APPROVAL OF MINUTES

Minutes to be posted to Township Website Upon Approval

6. APPROVAL OF RESOLUTIONS

#2025-206 - Christian Brothers Academy, 850 Newman Springs Road, Block 1063, Lot 67.01, located in the R-220 Zone.

7. ADMINISTRATIVE MATTERS

Master Plan Consistency Review of an Ordinance Amending Chapter 540 Of The Code Of The Township Of Middletown Governing The Development Standards for Block 811, Lots 97 On The Township's Official Tax Maps

8. OLD BUSINESS

None

9. NEW BUSINESS

- 9.I. #2025-400 – Milano Brothers Builders, LLC, Walada Avenue & Arlington Avenue, Block 158, Lot 1; Block 159, Lot 3; Block 122, Lot 122, Located In The R-7 Zone.

The applicant is seeking Preliminary & Final Major Subdivision Approval and Minimum Lot Frontage Variances where 75 feet is required, and 39.27 feet is proposed for New Lot 1; 64 feet is proposed for New Lot 2; 39.27 feet is proposed for New Lot 3; and 66.45 feet is proposed for New Lot 4. (This application was originally scheduled for the January 7, 2026 Planning Board Meeting and was carried to the February 4, 2026 meeting).

- 9.II. #2025-401 – Neuro-Inclusive Neighborhoods Of NJ 1, LLC, 911 Middletown-Lincroft Road, Block 990, Lot 57, Located In The R-30 Zone.

The applicant is seeking Preliminary & Final Major Subdivision to create eight (8) lots. Two (2) of the lots will contain single family homes, each of which will be owned and occupied by six (6) individuals, each of whom have Intellectual and Developmental Disabilities. (This application was originally scheduled for the January 7, 2026 Planning Board Meeting and was carried to the February 4, 2026 meeting.)

- 9.III. #2025-204 - Gerilyn & David 877-885 Main Street LLC, Block 499, Lot 2 Located In The B-1 Zone.

The applicant seeks a waiver of minor site plan approval for interior renovations to an existing mixed-use building.

Documents:

[MAHLOF INTERIOR RENOVATION PLANS.PDF](#)
[SURVEY 877 MAIN ST.PDF](#)
[TECH MEMO.PDF](#)

10. ADJOURNMENT

MAHLOF INTERIOR RENOVATION

BUILDING INFORMATION

USE GROUP:	R-5	TOWNSHIP OF BELFORD, NEW JERSEY.			
TYPE OF CONSTRUCTION:	VB	INTERNATIONAL RESIDENTIAL CODE 2021 NEW JERSEY EDITION			
DESIGN LOADS:	ROOF 40 PSF (LIVE LOAD + DEAD LOAD) FLOOR 50 PSF (LIVE LOAD + DEAD LOAD)	SQUARE FOOTAGE:	VOLUME:		
		(E) AREA TO BE RENOVATED TO APARTMENT	RENOVATED VOLUME	(E) 7,640 CU. FT.	
		TOTAL LIVING AREA:	955 SF	TOTAL:	7,640 CU. FT.

2021 INTERNATIONAL RESIDENTIAL CODE, NEW JERSEY EDITION
2021 INTERNATIONAL MECHANICAL CODE NEW JERSEY EDITION
2021 INTERNATIONAL ENERGY CONSERVATION CODE NJ EDITION (IECC)
2020 NATIONAL STANDARD PLUMBING CODE
2020 NATIONAL ELECTRICAL CODE (NEC)

ALL MATERIALS USED ARE TO BE IN STRICT ACCORDANCE W/
MANUFACTURER'S RECOMMENDED DETAILS AND INSTRUCTIONS.

ZONING SUMMARY

DESCRIPTION		Required	Existing	Proposed	Variance Required
Minimum Lot Size - Area	SF	10,000	25,552	25,552	No
Minimum Lot Size - Frontage	FT	100	178.45	178.45	No
Minimum Lot Size - Buildable Lot Area	SF	10,000	25,552	25,552	No
Minimum Front Yard	FT	15	8.9	8.9	Yes
Minimum Side Yard	FT	5	-4.8	-4.8	Yes
Minimum Street Side Yard	FT	7.5	7.4	7.4	Yes
Minimum Rear Yard	FT	15	N/A	N/A	N/A
Minimum Street Rear Yard	FT	15	22.1	22.1	No
Maximum Building Coverage	%	N/A	N/A	N/A	N/A
Maximum Lot Coverage	%	70	93.5	93.5	Yes
Maximum Height	Stories	2.5	2.5	2.5	No
Maximum Height	FT	35	34.3	34.3	No
Minimum Gross Floor Area - Total	SF	1,000	20,944	20,944	No
Minimum Gross Floor Area - First	SF	1,000	9,350	9,350	No
Maximum FAR	SF	N/A	N/A	N/A	N/A

CONCRETE SLABS (3000 PSI MIN)

WHERE TEMPERATURE REINFORCEMENT IS NOT PROVIDED IN CONCRETE SLABS, OTHER THAN BASEMENTS, CONTRACTION JOINTS AT APPROXIMATELY 30' INTERVALS SHOULD BE PROVIDED. CONTRACTION JOINTS SHOULD BE LOCATED AT PARTITIONS.

PROVIDE EXPANSION JOINTS AT PERIMETER OF EACH SLAB.

CONCRETE FOOTINGS

BEARING VALUES: (4000#/SQ.F. BEARING CAP.) EXCEPT WHEN DETERMINED BY FIELD LOADING TESTS OR OTHERWISE PROVIDED HEREIN, THE MAXIMUM ALLOWABLE PRESSURE ON SUPPORTING SOLID UNDER SPREAD FOOTINGS AT OR NEAR THE SURFACE SHALL NOT EXCEED THE VALUES SPECIFIED IN IRC, 2000 NJ EDITION. BEARING VALUES SHALL APPLY TO ALL MATERIALS OF SIMILAR PHYSICAL CHARACTERISTICS AND DISPOSITION.

CONCRETE FOOTINGS, CONCRETE IN FOOTINGS AND WALLS SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH OF NOT LESS THAN THREE THOUSAND (3000) POUNDS PER SQUARE INCH (PSI) AT TWENTY-EIGHT (28) DAYS. CONCRETE FOOTINGS SHALL NOT BE POURED THROUGH WATER. CONCRETE FOOTINGS SHALL BE PROTECTED FROM FREEZING DURING DEPOSITION AND FOR A PERIOD OF NOT LESS THAN FIVE (5) DAYS THEREAFTER.

TRENCH FOOTINGS: ALL CONCRETE TRENCH FOOTINGS SHALL BE EXCAVATED NEAT AND TRUE, AND CONCRETE CAST IMMEDIATELY UPON FORMATION OF TRENCH.

HEATING & AIR CONDITIONING

- CONTRACTOR TO COMPLY WITH ALL FEDERAL, STATE AND MUNICIPAL LAWS, AND ALL CODES, ORDINANCE, RULES AND REGULATIONS APPLICABLE TO THE PROJECT. DUCTWORK:
 - (A) ALL DUCTWORK TO BE CONSTRUCTED WITH A SMOOTH INSIDE SURFACE.
 - (B) DUCTWORK SHALL BE GALVANIZED STEEL, WEIGHTS AND CONSTRUCTION
 - (C) DIMENSION GIVING ON ARCHITECT'S DRAWING FOR MAIN DUCTWORK ARE

- RUN-OUTS SHALL HAVE V.G. DAMPER AT TAKE-OFF POINT. RISER WITHIN WALL CAVITY SHALL BE INSULATED FROM EXTERIOR WALL.
- CONTRACTOR TO INSTALL AND BALANCE AIR SYSTEM TO PROVIDE ROOM TEMPERATURES (HEATING AND COOLING CYCLE) AS REQUIRED BY HOW APPROVED STANDARDS AND ASHRAE GUIDE.

- CONTRACTOR SHALL SUBMIT TO ARCHITECT/HOMEOWNER FOR APPROVAL:
 - (A) SHOP DRAWING IN EQUIPMENT, INCLUDING DAY-NIGHT THERMOSTAT.
 - (B) SAMPLE OF AIR OUTLETS AND RETURN GRILLES.

- CONTRACTOR TO START AND OPERATE SYSTEM FOR RESIDENCE GIVING HOMEOWNER OPERATING MANUALS

- GUARANTEES:
 - (A) EQUIPMENT, LABOR, AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR
 - (B) TWO (2) YEAR WARRANTY ON ALL EQUIPMENT. CONTRACTOR TO EXTEND

- HEATING CYCLE: SYSTEM TO DELIVER 70 F AT 0 OUTDOORS WITH A 15 MPH PREVAILING WIND.

- COOLING CYCLE: SYSTEM TO DELIVER 75 F AT 95 OUTDOORS WITH A 50% RELATIVE HUMIDITY.

- PROVIDE A PROPERLY LABELED SHUT OFF SWITCH FOR EACH FURNACE IN A CONVENIENT LOCATION (TOP OF BASEMENT STAIRS, ETC.)

PLUMBING NOTES

- PLUMBING INSTALLATION SHALL CONFORM TO THE STANDARDS OF THE NATIONAL PLUMBING CODE AND ANY APPLICABLE LOCAL CODES AND REGULATIONS.

- BRANCH SUPPLIES TO EACH FIXTURE OR EQUIPMENT SHALL BE VALVED.

- MINIMUM SLOPE ON SANITARY WASTE SHALL BE 1/8" PER FOOT.

- WATER PIPING SHALL BE PITCHED TO PROVIDE COMPLETE DRAINAGE BY THE LOWEST FIXTURE.

- A CLEANOUT SHALL BE PROVIDED EVERY 50' OR HORIZONTAL RUNS AND AT EACH CHANGE OF DIRECTION 45 DEGREES OR GREATER.

- SOIL OR VENT PIPING SHALL BE TYPE PVC. ALL ABOVE GROUND WATER PIPING WILL BE COPPER TUBING TYPE "L".

- CONTRACTOR SHALL INSTALL CAP FLASHING ON ALL PIPES PASSING THROUGH ROOF.

- HOT AND COLD WATER BRANCHES SHALL BE PROVIDED WITH AIR CHAMBER AT THEIR UPPERMOST POINT.

- CONTRACTOR SHALL SUBMIT TO ARCHITECT/HOMEOWNER SPECIFICATIONS AND/OR SAMPLES FOR APPROVAL OF ALL EQUIPMENT USED ON THE PROJECT.

- PROVIDE EXTERIOR HOSE BIBB ON FRONT AND REAR OF EACH RESIDENCE, INCLUDING BACK-FLOW PREVENTER.

- CONTRACTOR SHALL MAKE ALL TESTS AS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER PROJECT.

- CONTRACTOR SHALL GUARANTEE FOR PERIOD OF ONE (1) YEAR ALL LABOR, WORKMANSHIP AND EQUIPMENT. ALL PIPING SHALL BE GUARANTEED FOR A PERIOD OF TWO (2) YEARS AS REQUIRED BY HOW APPROVED STANDARDS. FACTORY WARRANTIES ON EQUIPMENT SHALL BE EXTENDED TO HOMEOWNER AND/OR BUILDER.

- ALL WATER LINES SHALL BE ROUTED SUCH AS TO PREVENT SEAM FROM FREEZE-UP UNDER EXTREMELY LOW AMBIENT TEMPERATURES.

- ALL TOILETS SHALL BE OF THE 1.6 GALLON FLUSH TYPE.

FLOORING NOTES

- CONCRETE SLAB SHALL BE PROPERLY FLASHED AND LEVELED PRIOR TO INSTALLATION OF FLOORING MATERIALS.
- FLOOR COVERING IN CLOSETS SHALL MATCH THE FINISH OF THE SPACE ONTO WHICH THE CLOSET OPENS.

- PROVIDE AND INSTALL A 4" FLAT VINYL BASE IN ALL CARPETED AREAS AND A 4" VINYL COVE BASE IN ALL VINYL TILE AREAS. (UNLESS OTHERWISE NOTED)

- ALL SADDLES AND/OR REDUCING STRIPS (VINYL OR METAL) SHALL BE FURNISHED AND INSTALLED BY THE CARPETING CONTRACTOR.

- THE FLOORING CONTRACTOR SHALL PROVIDE PROPER METAL ANGLES BETWEEN FINISHED FLOOR MATERIALS AS CALLED FOR ON THE DRAWINGS. SUBMIT SAMPLES TO THE ARCH. FOR APPROVAL. MAX 1/2" TRANSITION PER ICC/ANSI 117.1.

- GENERAL CONTRACTOR AND SUBCONTRACTOR SHALL INSPECT THE SUBFL. BEFORE THE COMMENCEMENT OF THE WORK. CONTRACTOR SHALL NOTIFY THE ARCH. IN WRITING OF ANY CONDITION THAT WILL PREVENT HIM FROM PRODUCING SATISFACTORY WORK.

- ALL FLOORS MUST BE FREE OF ALL DUST, OIL, AND ALL FOREIGN MATTER. BUILDING MUST BE PRE-HEATED TO A MINIMUM OF 65 DEG. F. - 24 HRS. PRIOR TO INSTALLATION. CRACKS 1/16" OR WIDER, HOLES, OR OTHER UNEVENNESS MUST BE FILLED WITH A LATEX BASED FLOOR FILLER; HIGH SPOTS SHOULD BE LEVELED. FLOOR MUST BE SWEEP CLEAN, WET MOPPED WITH WARM WATER AND SWEEP AGAIN. IF SWEEPING LEAVES A RESIDUE, FLOORS SHALL BE VACUUMED.

- CARPET CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY UNACCEPTABLE FINISHED WORK CAUSED BY ADVERSE SUBFLOOR CONDITIONS.

- CROSS JOINTS NECESSARY DUE TO THE LENGTH OF ROLLS RECEIVED SHALL BE PLACED TO AVOID OCCURRENCE AT CONSPICUOUS LOCATIONS (I.E. AT DOORS AND PIVOT POINTS) AND MUST BE APPROVED PRIOR TO SEAMING BY THE ARCH. NO SEAM SHALL OCCUR AT DOORWAYS AND ENTRIES PERPENDICULAR TO DOORS OR ENTRIES. SEAMS OCCURRING AT DOORS PARALLEL TO DOORS SHALL BE CENTERED DIRECTLY UNDER THE DOOR.

- LENGTH SEAMS SHALL BE TRIMMED AND SEAMED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

- ALL CARPET BASE SHALL HAVE A BOUND EDGE.

- CARPETS SHALL BE LAID WITH TIGHT BUTT SEAMS LAID TRUE WITH AN APPROVED BRAND OF WATERPROOF QUICK RELEASE CEMENT IN ACCORDANCE W/ MANUF. SPECS.

- TELEPHONE AND ELECTRICAL PEDESTAL FLOOR OUTLETS SHALL NOT BE INSTALLED UNTIL CARPET IS LAID. THE CARPET CONTRACTOR SHALL COOPERATE WITH THE ELECTRICAL AND TELEPHONE REQUIREMENTS OF THE SPACE. ALL CUTTING OF CARPET FOR FLOOR OUTLETS AND JUNCTION BOXES SHALL BE THE RESPONSIBILITY OF THE CARPET CONTRACTOR

- ALL EXCESS PIECES OF USEABLE CARPET SHALL BE ROLLED, TAGGED FOR SIZE, AND LEFT WITH THE OWNER FOR HIS FUTURE USE.

- SPOTS AND/OR SMEARS OF CARPET CEMENT SHALL BE PROMPTLY REMOVED WITH AN APPROVED SOLVENT.

BIDDING SPECIFICATIONS

ELECTRICAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE RULES AND REGULATIONS.

- CONTRACTOR SHALL MAKE ARRANGEMENT WITH LOCAL ELECTRIC SERVICE PROVIDER TO ESTABLISH ELECTRIC SERVICE, ARRANGE FOR ALL REQUIRED INSPECTIONS AND FURNISH ALL LABOR AND MATERIALS REQUIRED FOR ESTABLISHING ELECTRIC SERVICE.

- SERVICE SHALL BE RATED 300 AMP., 110/220 VOLT, 1-PHASE 3W AND SHALL INCLUDE A SERVICE PANEL NEMA 1 ENCLOSURE, WITH 150 AMPS MCB, AND 84 POLES. BRANCH BREAKERS AS REQUIRED. ALL CIRCUITS TO BE LABELED AT THE PANEL-BOX DOOR.

- ELECTRIC CONTRACTOR SHALL FURNISH OUTLETS: GENERAL CONVENIENCE OUTLETS IN BASEMENT, DUPLEX RECEPTABLES ON ALL FLOORS, AND AN EXTERIOR OUTLET. MAXIMUM OF SIX (6) OUTLETS PER CIRCUIT.

- GENERAL LIGHTING SHALL BE WIRED TO PANEL 1600 WATTS PER CIRCUIT MAXIMUM.

- ELECTRIC EQUIPMENT SHALL BE WIRED ON A SEPARATE CIRCUIT AS REQUIRED BY CODE. CONTRACTOR TO PROVIDE SUITABLE WIRING FOR CLOTHES DRYER, REFRIGERATOR, GAS STOVE, HEATING- A/C UNITS, TOASTER, AND OTHER SIMILAR APPLIANCES.

- ALL WIRING SHALL BE COPPER TYPE, THW, 600 VOLT. WIRES SHALL BE SIZED IN ACCORDANCE WITH N.E.C. HOWEVER, NO WIRE SHALL BE LESS THAN 14 AWG.

- GUARANTEES: EQUIPMENT, WIRING, AND WORKMANSHIP FOR PERIOD OF ONE (1) YEAR FROM DATE OF OCCUPANCY BY HOMEOWNER. ALL WIRING SHALL BE WARRANTED FOR AN ADDITIONAL ONE (1) YEAR FROM FAILURE TO CARRY ITS DESIGNED LOAD.

- CONTRACTOR SHALL SUBMIT TO ARCHITECT/HOMEOWNER FOR APPROVAL, SPECIFICATIONS AND/OR SAMPLES OF ALL EQUIPMENT AND MATERIALS TO BE USED ON THE PROJECT

- ALL BATHROOM FANS SHALL BE VENTED TO THE EXTERIOR.

WOOD FRAME CONSTRUCTION

- LUMBER: AM. SOFTWOOD LUMBER STD. P S 20 (US DEPT. COMM.) S4S, 19% MOISTURE AT TIMES OF DRESSING. STRUCTURAL LUMBER AND ITS FASTENINGS SHALL BE ADEQUATELY ASSEMBLED TO SAFELY SUSTAIN ALL IMPOSED LOADS. ALL LUMBER USED FOR LOAD SUPPORTING PURPOSES SHALL BE IDENTIFIED BY THE TRADE MARK OF A LUMBER GRADING INSPECTION AGENCY. GRADING PRACTICES AND IDENTIFICATION SHALL BE IN ACCORDANCE WITH RULES PUBLISHED BY AN AGENCY RECOGNIZED AS BEING COMPETENT.

- SIZES OF STRUCTURAL MEMBERS: ALL LUMBER SIZES SPECIFIED ARE NOMINAL SIZES. NOMINAL SIZES ARE SHOWN ON THE PLANS. COMPUTATIONS FOR STRUCTURAL MEMBERS ARE BASED ON THE NET DIMENSIONS. (ACTUAL SIZES).

- STRUCTURAL POSTS: ALL ISOLATED STRUCTURAL POSTS SHALL HAVE A MINIMUM DIMENSION OF FOUR (4") INCHES.

- STRUCTURAL FRAMING: BEAMS & GIRDERS: DOUG FIR #2 WALL STUDS: DOUG FIR STUD GRADE

- FABRICATION: CONNECTIONS- ALL CONNECTIONS SHALL BE FABRICATED WITH APPROVED TIMBER CONNECTORS, BOLTS, LAG SCREWS, SPIKES, NAILS, IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE. BOLTED CONNECTIONS SHALL BE SNUGGED UP TIGHTLY WITHOUT CRUSHING WOOD FIBERS UNDER THE WASHERS.

- AT-GRADE PROTECTION: ALL EXTERIOR WOOD FRAMEWORK, WHETHER STRUCTURAL OR NON-LOADBEARING, SHALL BE SUPPORTED ON APPROVED FOUNDATION WALLS AT LEAST EIGHT (8) INCHES ABOVE THE FINISHED GRADE. WHERE CLIMATIC CONDITIONS OR THE GEOGRAPHICAL LOCATION REQUIRE ADDITIONAL CONTROL MEASURES TO PROTECT BUILDINGS AND STRUCTURES AGAINST DECAY AND TERMITE ATTACK.

- FOUNDATION ANCHORAGE: WALL SILL PLATES, A MINIMUM OF TWO-BY-FOUR INCH (2" x 4") MEMBER, SHALL BE SIZED AND ANCHORED TO FOUNDATION WALL OR PIERS AND AT INTERMEDIATE INTERVALS AS REQUIRED TO RESIST WIND UPLIFT. ANCHOR BOLTS SHALL BE A MINIMUM OF ONE-HALF (1/2") INCH DIAMETER. THE BOLTS SHALL BE EMBEDDED IN FOUNDATIONS TO A DEPTH OF NOT LESS THAN EIGHT (8") INCHES POURED IN PLACE CONCRETE, AND NOT LESS THAN FIFTEEN (15) INCHES IN UNIT MASONRY. THERE SHALL BE A MINIMUM OF TWO ANCHOR BOLTS PER SECTION OF PLATE AND ANCHOR BOLTS SHALL BE PLACED 12" FROM THE END OF EACH SECTION OF PLATE WITH INTERMEDIATE BOLTS SPACED A MAXIMUM OF SIX (6) FEET ON CENTER.

- WOOD IN CONTACT WITH THE GROUND: ALL WOOD IN CONTACT WITH THE GROUND AND SUPPORTING PERMANENT STRUCTURES SHALL BE APPROVED TREATED WOOD.

- SILLS: ALL SILLS WHICH REST ON CONCRETE OR MASONRY EXTERIOR WALLS AND ARE LESS THAN EIGHT (8") INCHES FROM EXPOSED EARTH SHALL BE OF APPROVED DURABLE OR TREATED WOOD.

- SLEEPERS AND SILLS: SLEEPERS AND SILLS ON A CONCRETE OR MASONRY SLAB WHICH IS IN DIRECT CONTACT WITH EARTH SHALL BE OF APPROVED DURABLE OR TREATED WOOD.

- WOOD AND WALL SHEATHING: ONE-HALF (1/2") INCH, D.F. PLYWOOD EXT. C C OR STRUCT. INTER. C-D GRADES; MAX. RAFTER OR TRUSS SPACING 24" O.C. EDGES SHALL BE BLOCKED WITH 1/2" H-CUPS AT EACH TRUSS BAY. FACE GRAIN PARALLEL TO SUPPORTS; EXTERIOR TYPE SHALL BE USED WHEN EXPOSED TO WEATHER.

- FRAMING CONTRACTOR SHALL GUARANTEE HIS WORK FOR A PERIOD OF ONE (1) YEAR FROM DATE OF OCCUPANCY AGAINST WORKMANSHIP DEFECTS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: LOOSE SUBFLOOR, UNEVEN FLOORS, BOWED AND OUT-OF-PLUMB WALLS, AND THE LIKE.

- ANY WINDOW, DOOR, OR OTHER OPENING LOCATED IN LOAD BEARING WALL SHALL HAVE (3) 2" x 12" LINTEL (MINIMUM).

- STAIR RAILS SHALL BE A MINIMUM OF 36" HIGH WITH A MAXIMUM 2" HANDGRIP. BALUSTERS SHALL BE SPACED SUCH THAT NO SPACE IS 4" OR GREATER.

GENERAL NOTES

- THESE DRAWINGS AND REPRODUCTIONS THEREOF, ARE INSTRUMENTS OF SERVICE, AND AS SUCH REMAIN THE PROPERTY OF THE ARCHITECT. ANY UNAUTHORIZED USE OF THESE DRAWINGS OR REPRODUCTIONS BY ANY PARTY SHALL MAKE THE USER LIABLE TO THE ARCHITECT FOR HIS SERVICE.

- ANY PROSPECTIVE BIDDERS ARE STRONGLY URGED TO REVIEW THE DOCUMENTS AND TO EXAMINE THE PROPOSED SITE PRIOR TO BIDDING. ANY DISCREPANCIES DISCOVERED SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION. ANY DISCREPANCIES OR PROBLEMS ENCOUNTERED DURING CONSTRUCTION SHOULD LIKEWISE BE IMMEDIATELY BROUGHT TO THE ARCHITECT'S ATTENTION FOR RESOLUTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CHANGES MADE TO, OR DEVIATIONS FROM, THE CONSTRUCTION DOCUMENTS BY OTHERS WITHOUT HIS KNOWLEDGE AND CONSENT. ANY SUCH CHANGES OR DEVIATIONS SHALL REMAIN THE RESPONSIBILITY OF THE PARTY IMPLEMENTING THEM. ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES.

- DIMENSIONS AS INDICATED ON DRAWINGS SHALL TAKE PRECEDENT OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.

NOTES TO CONTRACTOR

- ALL NOTES WHICH DO NOT PERTAIN TO THIS PROJECT SHALL BE CONSIDERED NOT N SCOPE. CONTRACTORS SHALL MAKE OWNER AND ARCHITECT AWARE OF ALL DELETIONS WHICH AFFECT THE PROJECT COST. ALL ITEMS NOT CONSIDERED IN SCOPE OF PROJECT SHALL BE VERIFIED WITH ARCHITECT.

- ALL WORK AND MATERIALS SHALL BE PROVIDED AS SHOWN AND HEREIN SPECIFIED SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST APPLICABLE PROVISIONS OF UNIFORM CONSTRUCTION CODE OF THE STATE OF NEW JERSEY. LOCAL ZONING ORDINANCE AND LATEST RULES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER WORK OF THIS TYPE.

- THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE PRIOR TO BID MAKING HIMSELF THOROUGHLY FAMILIAR WITH THE CONDITIONS OF THE PROJECT AREA. ANY DIFFICULTIES WITH ACCESS, WALL ALIGNMENT OR OTHER EXISTING CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT FOR APPROVAL OF ALTERNATE MEANS.

- THE CONTRACTOR SHALL LAY OUT THE ENTIRE JOB, CHECK ALL MEASUREMENTS, CONTROLLING THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND OWNER. THE ARCHITECT AND OWNER SHALL MAKE AN INSPECTION UPON COMPLETION OF THE LAYOUT.

- DRAWINGS SHALL NOT BE SCALED. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND EXISTING FIELD CONDITIONS AND HE SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS BEFORE BEGINNING CONSTRUCTION.

- ALL CONTRACTOR'S WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMAN-LIKE MANNER, PROVIDING WORKMEN AND MATERIALS, MATCHING AND ALIGNING ALL SURFACES WHERE APPLICABLE. THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS BEFORE BEGINNING CONSTRUCTION.

- THE CONTRACTOR SHALL EXAMINE ALL EXISTING MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS AND CONFER WITH THE OWNER AND ARCHITECT TO DETERMINE WHAT ADDITIONS AND MODIFICATION ARE NECESSARY.
- THE ELECTRICAL, PLUMBING AND MECHANICAL SYSTEMS SHALL BE DESIGNED BY A LICENSED NJ REGISTERED ENGINEER/CONTRACTOR PER ALL APPLICABLE CODES AND FILED SEPARATELY BY THE CONTRACTOR.

- THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH THE OWNER BEFORE BEGINNING CONSTRUCTION.

- THE CONTRACTOR SHALL COORDINATE ALL SCHEDULING AND THE WORK OF ALL SUB-CONTRACTORS TO ALLOW FOR THE "FULL COOPERATION OF THE TRADES."

- THE CONTRACTOR SHALL OBTAIN ALL PERMITS AS REQUIRED AND PAY FOR SAME.

- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OR OWNER IN WRITING OF ANY FIELD CHANGES MADE DURING CONSTRUCTION.

- THE CONTRACTOR SHALL SCHEDULE ALL REQUIRED INSPECTIONS WITH THE APPROPRIATE CODE OFFICIALS, DEPARTMENTS, ETC. AND BE RESPONSIBLE FOR OBTAINING THE CERTIFICATE OF OCCUPANCY.

- ALL SUBSTITUTIONS OF SPECIFIED MATERIALS AND EQUIPMENT SHALL BE APPROVED BY THE ARCHITECT OR OWNER.

- ALL MATERIALS SHALL BE APPLIED OR USED ACCORDING TO THE MANUFACTURER'S PRESCRIBED INSTRUCTIONS AND RECOMMENDATIONS. CONTRACTOR SHALL FINISH GRADE THE SOIL AREA AS REQUIRED TO DRECT WATER AWAY FROM THE HOUSE FOUNDATION DURING AND AFTER CONSTRUCTION.

- ANY FINISH FLOOR ELEVATIONS INDICATED ON THE FLOOR PLAN ARE FOR REFERENCE ONLY. ACTUAL SITE ELEVATIONS MAY DIFFER. SEE SITE/PLOT PLAN FOR ANY ADDITIONAL INFORMATION IF PROVIDED.

- THE CONTRACTOR SHALL MAKE ALL NECESSARY PROVISIONS FOR THE PROTECTION OF THE EXISTING BUILDING AND ITS CONTENTS FROM DAMAGE AND THEFT.

- THE CONTRACTOR SHALL PERIODICALLY REMOVE FROM THE BUILDING AND THE SURROUNDING CONSTRUCTION SITE AND DISPOSE OF BY LEGAL MEANS, ALL RUBBISH AND DEBRIS. AT THE COMPLETION OF THE WORK, HE SHALL LEAVE THE PREMISES "BROOM CLEAN" WITH ALL WOOD, DRYWALL AND FINISH WORK FREE FROM DISCOLORATION AND STAIN.

- THE CONTRACTOR SHALL PATCH/REPAIR TO ITS ORIGINAL STATE, ALL EXISTING CONDITIONS AFFECTED BY THE NEW CONSTRUCTION.

- EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN WALL CAVITIES AND WINDOW OR DOOR FRAMES, BETWEEN WALL AND FOUNDATION, BETWEEN WALL AND ROOF, BETWEEN WALL PANELS, AT PENETRATIONS OR UTILITY SERVICES THROUGH WALLS, FLOORS AND ROOFS AND ALL OTHER OPENINGS IN THE EXTERIOR ENVELOPE SHALL BE CAULKED, GASKETED OR OTHERWISE FLASHED AND SEALED IN AN APPROVED MANNER AS REQUIRED TO PROVIDE WATER TIGHT CONDITION.

- ALL OPENINGS IN WALLS, FLOORS, ROOF, ECT. TO BE LOCATED, SIZED, FURNISHED AND INSTALLED AS PER MECHANICAL AND ARCHITECTURAL REQUIREMENTS EVEN IF NOT SHOWN AS SUCH ON STRUCTURAL AND ARCHITECTURAL DRAWINGS.

- GENERAL CONTRACTOR SHALL VERIFY SITE CONDITIONS AS REQUIRED TO DETERMINE NUMBER OF STEPS FOR ACCESS TO GRADE FROM ADDITION OR DECK. MAX. RISER @ 7 1/2"

- ALL GYPSUM BOARD THROUGHOUT SHALL BE TAPED, SPACKLED AND SANDED A MINIMUM OF THREE (3) COATS. ALL NEW PARTITIONS ARE TO BE PAINTED. ALL WALLS TO RECEIVE CERAMIC TILE SHALL HAVE TILE-BACKER BOARD.

- INSTALL 5/8" TYPE "X" FIRE RATED GYPSUM BOARD AT ALL AREAS REQUIRING ONE HOUR SEPARATION. INSTALL FROM FLOOR TO ROOF (OR CEILING) IN GARAGE, IN AREAS UNDER STAIRS AND AT HVAC EQUIPMENT LOCATIONS AS REQUIRED BY CODE.

- ALL COLORS, PATTERNS, TEXTURES, ETC. OF ALL MATERIALS AND THEIR FINISHES ARE TO BE SELECTED BY THE OWNER.

- ALL MATERIAL SHALL MATCH EXISTING, UNLESS OTHERWISE NOTED.

- PROVIDE A 24" x 48" MIN. ATTIC ACCESS FOLD DOWN LADDER WHERE APPLICABLE.

- PROVIDE R-11 ACOUSTICAL INSULATION AT ALL NEW BATHROOM WALLS AND FLOORS.

- ALL TUB/SHOWER ENCLOSURES SHALL BE TEMPERED GLASS.

- WHERE CERAMIC FLOOR TILE IS TO BE INSTALLED, PROVIDE MIN. 3/4" EXT. GRADE FIN. FLOOR PLYWOOD SCREW APPLIED AT MIN. 8" O.C.

- BALCONY/STAIR HANDRAILS SHALL BE 36"/32" - 34" HIGH RESPECTIVELY.

- ALL PREFAB. FIREPLACES SHALL COMPLY WITH IRC 2000 NEW JERSEY EDITION SECTIONS R1004 AND R1005.

- CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS OF THE RADON HAZARD SUBCODE - UNIFORM CONSTRUCTION CODE SUBCHAPTER 10, 5-23 - 10.4

LIST OF DRAWINGS

G-1 GENERAL INFORMATION

A-1 FIRST FLOOR PLAN &
ELECTRIC PLAN
A-3 PARTIAL FRONT & REAR
ELEVATIONS & BLD'G. SECTION



W. LERMAN ARCHITECTURE

Architecture - Land Planning
Space Planning - Interior Design

142 Route 35 South - Suite 207
Edmontown, NJ 07724
T: 732.222.3200 F: 732.542.2900

LICENSE

Wayne Lerman
NJ C-6077
NY 014732
FL AR-91300

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REVISIONS	
1	11/19/24 ZONING SUMMARY (G-1)
2	03/13/25 ZONING SUMMARY REVISED (G-1)

PROPOSED INTERIOR
ALTERATIONS FOR:

MAHLOF
APARTMENT

*** **

LOT 2, BLOCK 499
MIDDLETOWN, NJ

GENERAL
INFORMATION

DATE	JOB NO
09/24/2024	2024--
SCALE	DWG. NO
AS NOTED	G-1
DWN. BY	WML
CHECKED	WML
	1 OF 1

WALL LEGEND	
SYMBOL	DESCRIPTION
	EXIST. WALL TO REMAIN
	NEW WALL
	EXISTING WALL TO BE REMOVED
	PATCH TO MATCH EXIST. CMU WALL

- ELECTRICAL PLAN NOTES:**
1. ALL ELECTRICAL AND TELEPHONE WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
 2. ALL VISIBLE ELECTRICAL EQUIPMENT SUCH AS SWITCHES, DUPLEX OUTLETS, SHALL BE INSTALLED BY COMPETANT MECHANICS IN A FIRST CLASS MANNER.
 3. EXCEPT AS NOTED, ALL ELECTRICAL AND TELEPHONE WALL OUTLETS SHALL BE MOUNTED AT 18" A.F.F.
 4. ALL EXISTING WALL OUTLETS WHICH DO NOT INTERFERE WITH NEW CONSTRUCTION SHALL REMAIN. ANY EXISTING ELECTRICAL OUTLETS, ETC. WHICH INTERFERE WITH NEW PARTITION WORK SHALL BE RELOCATED TO A LOCATION APPROVED BY THE ARCHITECT OR OWNER.
 5. ALL TELEPHONE WORK SHALL BE COORDINATED WITH A TELEPHONE COMPANY REPRESENTATIVE.
 6. NO FLOOR OR WALL OUTLETS SHALL BE CONNECTED TO LIGHTING CIRCUITS.
 7. ALL THERMOSTATS SHALL BE MOUNTED 4'-6" ABOVE FINISHED FLOOR U.O.N.
 8. ALL SWITCHES SHALL BE MOUNTED AT 4'-0" ABOVE FINISHED FLOOR U.O.N.
 9. CONTRACTOR SHALL RECEIVE, HANDLE, ASSEMBLE, INSTALL, AND CONNECT LIGHT FIXTURES, INCLUDING INITIAL LAMPS.

- ELECTRICAL LEGEND**
- 20 AMP 110V DUPLEX OUTLET
 - SAME AS NOTED ABOVE EXCEPT PROVIDE WEATHERPROOF COVER.
 - 20 AMP 110V DUPLEX OUTLET - GROUND FAULT OUTLET
 - 20 AMP 110V DUPLEX OUTLET - GROUND FAULT OUTLET TO BE MOUNTED 42" A.F.F.
 - LIGHT SWITCH - 3 WAY
 - LIGHT SWITCH
 - INTEGRATED HARD-WIRED SMOKE/CARBON MONOXIDE DETECTION SYSTEM
 - VOICE/DATA JACK
 - WALL SCONCE
 - RECESSED INCANDESCENT LIGHT FIXTURE
 - CEILING FAN WITH INCANDESCENT LIGHT FIXTURE
 - BATHROOM FAN (TO BE VENTED TO EXTERIOR THROUGH METAL DUCTS)
 - SURFACE MOUNTED DECORATIVE INCANDESCENT LIGHT FIXTURE TO BE SELECTED BY OWNER
 - SURFACE MOUNTED WATER PROOF INCANDESCENT LIGHT FIXTURE TO BE SELECTED BY OWNER
 - SUSPENDED DECORATIVE INCANDESCENT LIGHT FIXTURE TO BE SELECTED BY OWNER
 - INDICATES EXTERIOR TYPE FIXTURE
 - INDICATES FLOOD LIGHT TYPE FIXTURE
 - INDICATES FIXTURE TO BE CONTROLLED BY A TIME CLOCK
 - INDICATES FIXTURE TO BE CONTROLLED BY A PULL CHAIN
- NOTES:**
- 1.) ALL INCANDESCENT LIGHT FIXTURES SHALL BE ON DIMMER SWITCHES.
 - 2.) ALL FIXTURE SHALL BE AS SELECTED BY OWNER.
 - 3.) G.C. SHALL VERIFY SELECTIONS W/ OWNER & ARCHITECT.
 - 4.) ALL ELECTRICAL OUTLETS SHALL BE MOUNTED 18" A.F.F. UNLESS OTHERWISE NOTED

- CONSTRUCTION NOTES**
1. ALL WORK AND MATERIALS SHALL BE PROVIDED AS SHOWN AND HEREIN SPECIFIED SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST APPLICABLE PROVISIONS OF UNIFORM CONSTRUCTION CODE OF THE STATE OF NEW JERSEY, LOCAL ZONING ORDINANCE AND LATEST PILES & REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER WORK OF THIS TYPE.
 2. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE PRIOR TO BID MAKING HIMSELF THOROUGHLY FAMILIAR WITH THE CONDITIONS OF THE PROJECT AREA. ANY DIFFICULTIES WITH ACCESS, WALL ALIGNMENT OR OTHER EXISTING CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT FOR APPROVAL OF ALTERNATE MEANS.
 3. THE CONTRACTOR SHALL LAY OUT THE ENTIRE JOB, CHECK ALL MEASUREMENTS, CONTROLLING THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND OWNER. THE ARCHITECT AND OWNER SHALL MAKE AN INSPECTION UPON COMPLETION OF THE LAYOUT.
 4. DRAWINGS SHALL NOT BE SCALED. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND EXISTING FIELD CONDITIONS AND HE SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS BEFORE BEGINNING CONSTRUCTION.
 5. ALL CONTRACTOR'S WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER, PROVIDING WORKMEN AND MATERIALS, MATCHING AND ALIGNING ALL SURFACES WHERE APPLICABLE TO AFFORD A FINISHED, NEAT APPEARANCE AT THE COMPLETION OF THE ENTIRE PROJECT. THE CONTRACTOR SHALL PROPERLY PROTECT ALL ADJACENT SURFACES DURING THE COURSE OF HIS INSTALLATION. ALL NEW WORK AS INDICATED, SPECIFIED OR IMPLIED AS REQUIRED TO PRODUCE A FINISHED PRODUCT IN PROPER WORKING LEGAL ORDER CONFORMING TO THE BEST STANDARDS OF WORKMANSHIP.
 6. THE CONTRACTOR SHALL EXAMINE ALL EXISTING MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS AND CONFER WITH THE OWNER AND ARCHITECT TO DETERMINE WHAT ADDITIONS AND MODIFICATION ARE NECESSARY.
 7. THE ELECTRICAL, PLUMBING AND MECHANICAL SYSTEMS SHALL BE DESIGNED BY A LICENSED NJ REGISTERED ENGINEER/CONTRACTOR PER ALL APPLICABLE CODES AND FILLED SEPARATELY BY THE CONTRACTOR.
 8. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH THE OWNER BEFORE BEGINNING CONSTRUCTION.
 9. THE CONTRACTOR SHALL COORDINATE ALL SCHEDULING AND THE WORK OF ALL SUB-CONTRACTORS TO ALLOW FOR THE "FULL COOPERATION OF THE TRADES."
 10. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AS REQUIRED AND PAY FOR SAME.
 11. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OR OWNER IN WRITING OF ANY FIELD CHANGES MADE DURING CONSTRUCTION.
 12. THE CONTRACTOR SHALL SCHEDULE ALL REQUIRED INSPECTIONS WITH THE APPROPRIATE CODE OFFICIALS, DEPARTMENTS, ETC. AND BE RESPONSIBLE FOR OBTAINING THE CERTIFICATE OF OCCUPANCY.
 13. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS AND EQUIPMENT SHALL BE APPROVED BY THE ARCHITECT OR OWNER.
 14. ALL MATERIALS SHALL BE APPLIED OR USED ACCORDING TO THE MANUFACTURER'S PRESCRIBED INSTRUCTIONS AND RECOMMENDATIONS.
 15. ANY FINISH FLOOR ELEVATIONS INDICATED ON THE FLOOR PLAN ARE FOR REFERENCE ONLY. ACTUAL SITE ELEVATIONS MAY DIFFER. SEE SITE/PLOT PLAN FOR ANY ADDITIONAL INFORMATION IF PROVIDED.
 16. THE CONTRACTOR SHALL MAKE ALL NECESSARY PROVISIONS FOR THE PROTECTION OF THE EXISTING BUILDING AND ITS CONTENTS FROM DAMAGE AND THEFT.
 17. THE CONTRACTOR SHALL PERIODICALLY REMOVE FROM THE BUILDING AND THE SURROUNDING CONSTRUCTION SITE AND DISPOSE OF BY LEGAL MEANS, ALL RUBBISH AND DEBRIS. AT THE COMPLETION OF THE WORK, HE SHALL LEAVE THE PREMISES "BROOM CLEAN" WITH ALL WOOD, DRYWALL AND FINISH WORK FREE FROM DISCOLORATION AND STAIN.
 18. THE CONTRACTOR SHALL PATCH/REPAIR TO ITS ORIGINAL STATE, ALL EXISTING CONDITIONS AFFECTED BY THE NEW CONSTRUCTION.
 19. EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN WALL CAVITIES AND WINDOW OR DOOR FRAMES, BETWEEN WALL AND FOUNDATION, BETWEEN WALL AND ROOF, BETWEEN WALL PANELS, AT PENETRATIONS OR UTILITY SERVICES THROUGH WALLS, FLOORS AND ROOFS AND ALL OTHER OPENINGS IN THE EXTERIOR ENVELOPE SHALL BE CAULKED, GASKETS OR OTHERWISE FLASHED AND SEALED IN AN APPROVED MANNER AS REQUIRED TO PROVIDE WATER TIGHT CONDITION.
 20. ALL OPENINGS IN WALLS, FLOORS, ROOF, ECT. TO BE LOCATED, SIZED, FURNISH AND INSTALLED AS PER MECHANICAL AND ARCHITECTURAL REQUIREMENTS EVEN IF SHOWN AS SUCH ON STRUCTURAL AND ARCHITECTURAL DRAWINGS.
 21. GENERAL CONTRACTOR SHALL VERIFY SITE CONDITIONS AS REQUIRED TO DETERMINE NUMBER OF STEPS FOR ACCESS TO GRADE FROM BUILDING MAX. RISER @ 7"
 22. ALL COLORS, PATTERNS, TEXTURES, ETC. OF ALL MATERIALS AND THEIR FINISHES ARE TO BE SELECTED BY THE OWNER.
 23. ALL MATERIAL SHALL MATCH EXISTING, UNLESS OTHERWISE NOTED.
 24. PROVIDE R-11 ACOUSTICAL INSULATION AT ALL NEW BATHROOM WALLS AND FLOORS.

W. LERMAN ARCHITECTURE

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Space Planning • Interior Design

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WAYNE LERMAN, AIA

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REVISIONS	
1	11/19/24 ZONING SUMMARY (G-1)

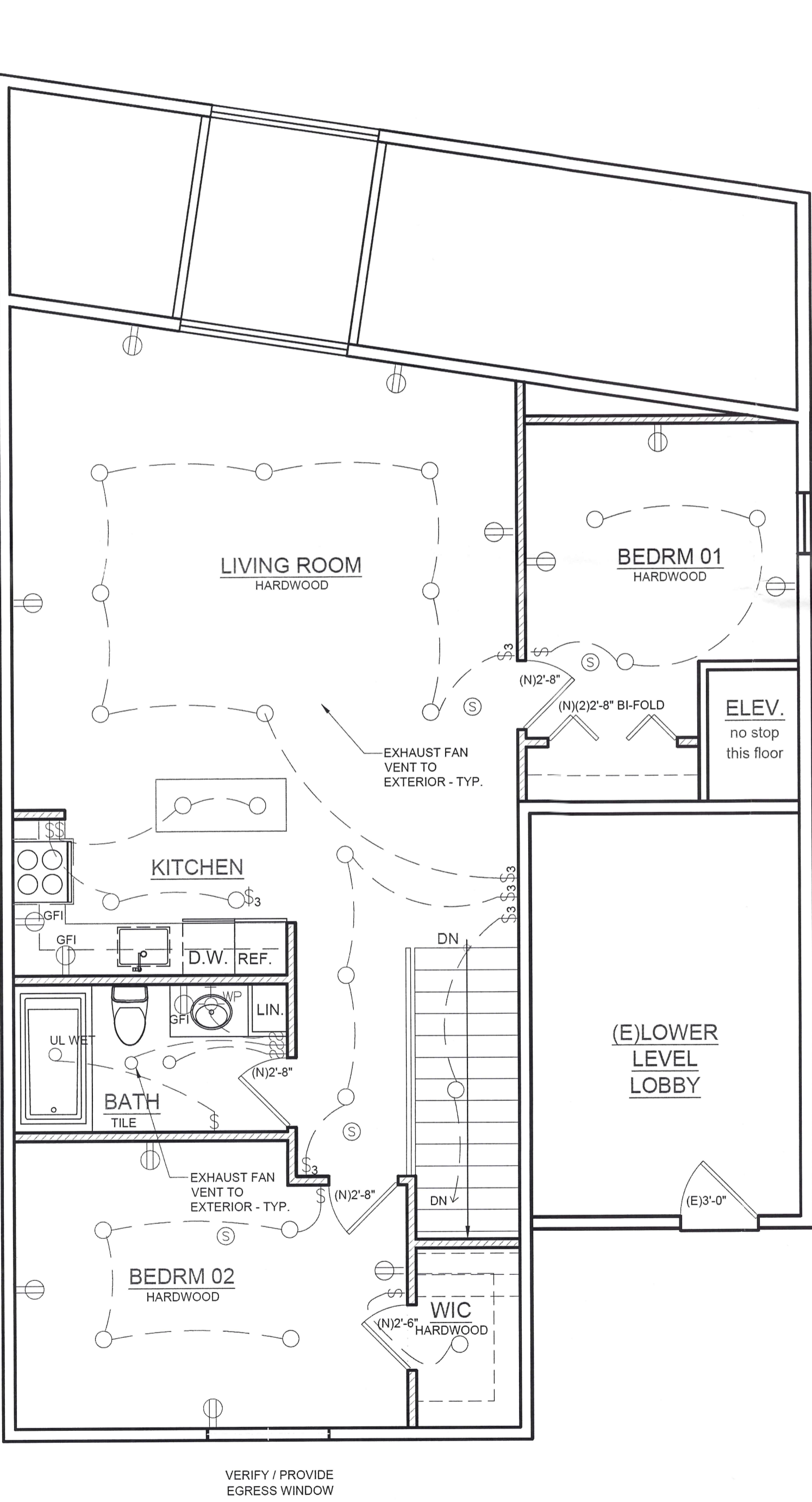
PROPOSED INTERIOR ALTERATIONS FOR:

MAHLOF APARTMENT

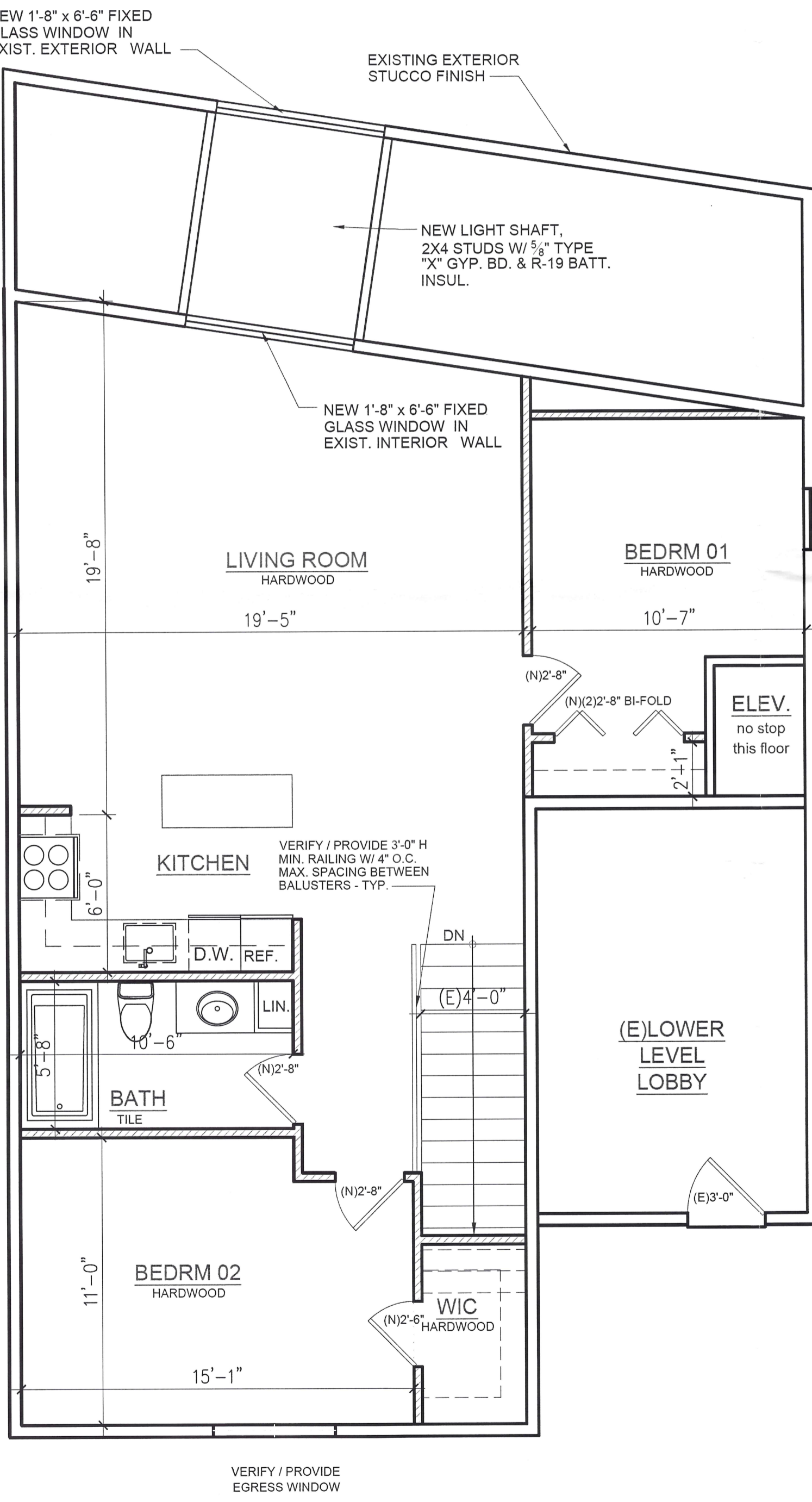
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LOT 2, BLOCK 499
MIDDLETOWN, NJ

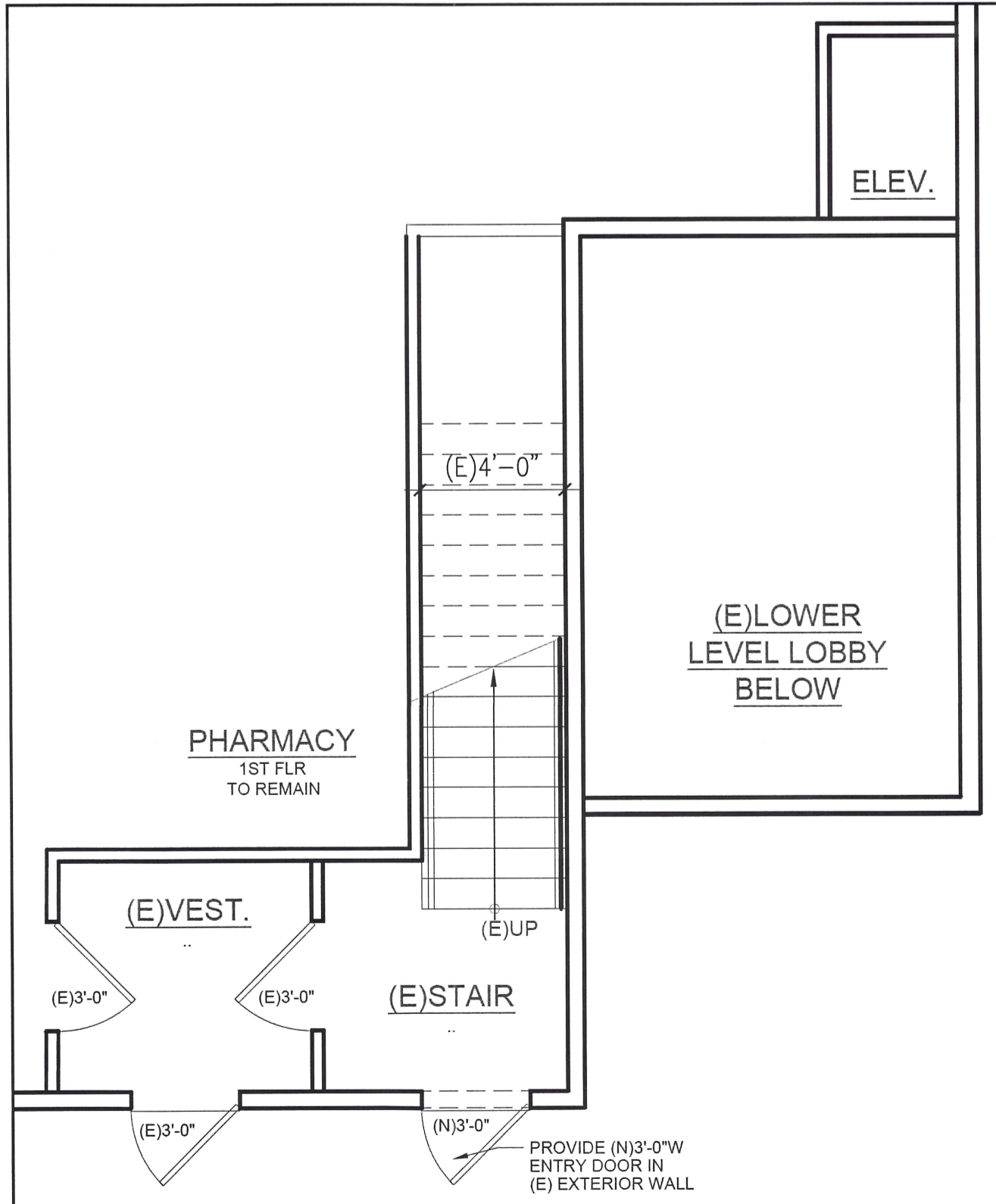
SECOND FLOOR PLAN	
DATE	JOB NO
09/24/2024	2024-..
SCALE	DWG. NO
AS NOTED	A-3
DWN. BY	WML
CHECKED	WML 7 OF .



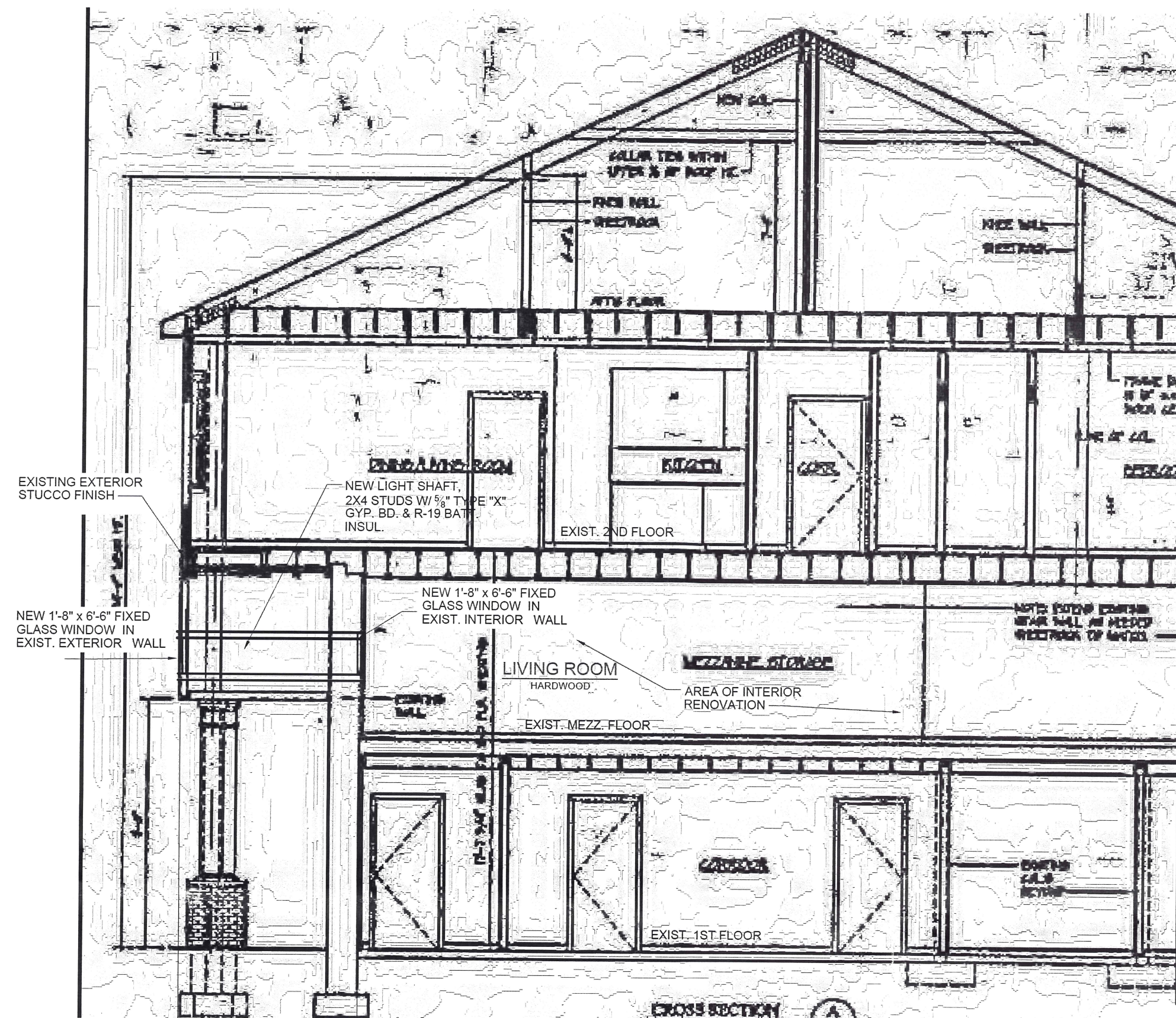
SECOND FLOOR PLAN - PROPOSED ELEC.
SCALE: 1/4" = 1'-0"



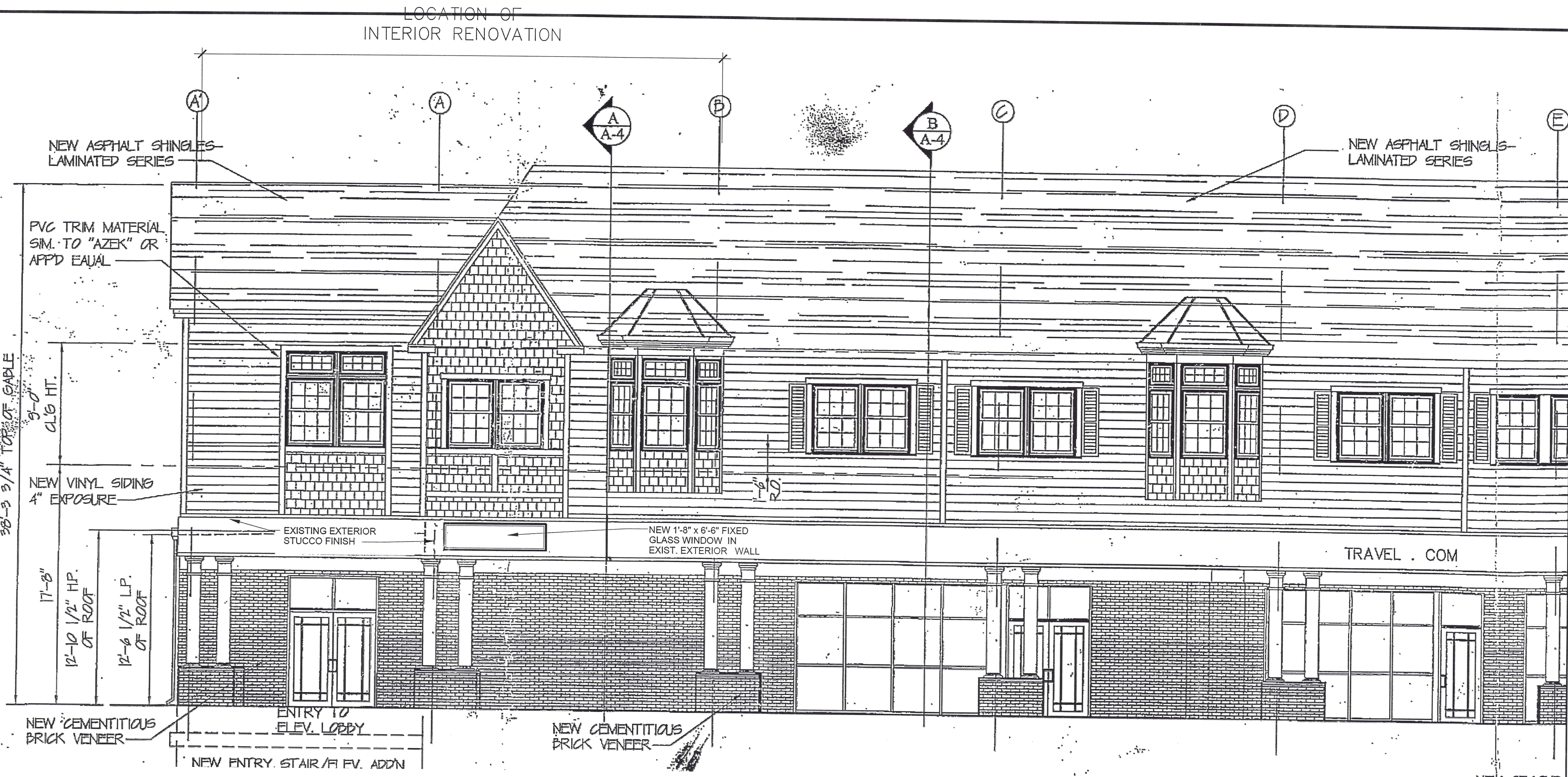
SECOND FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



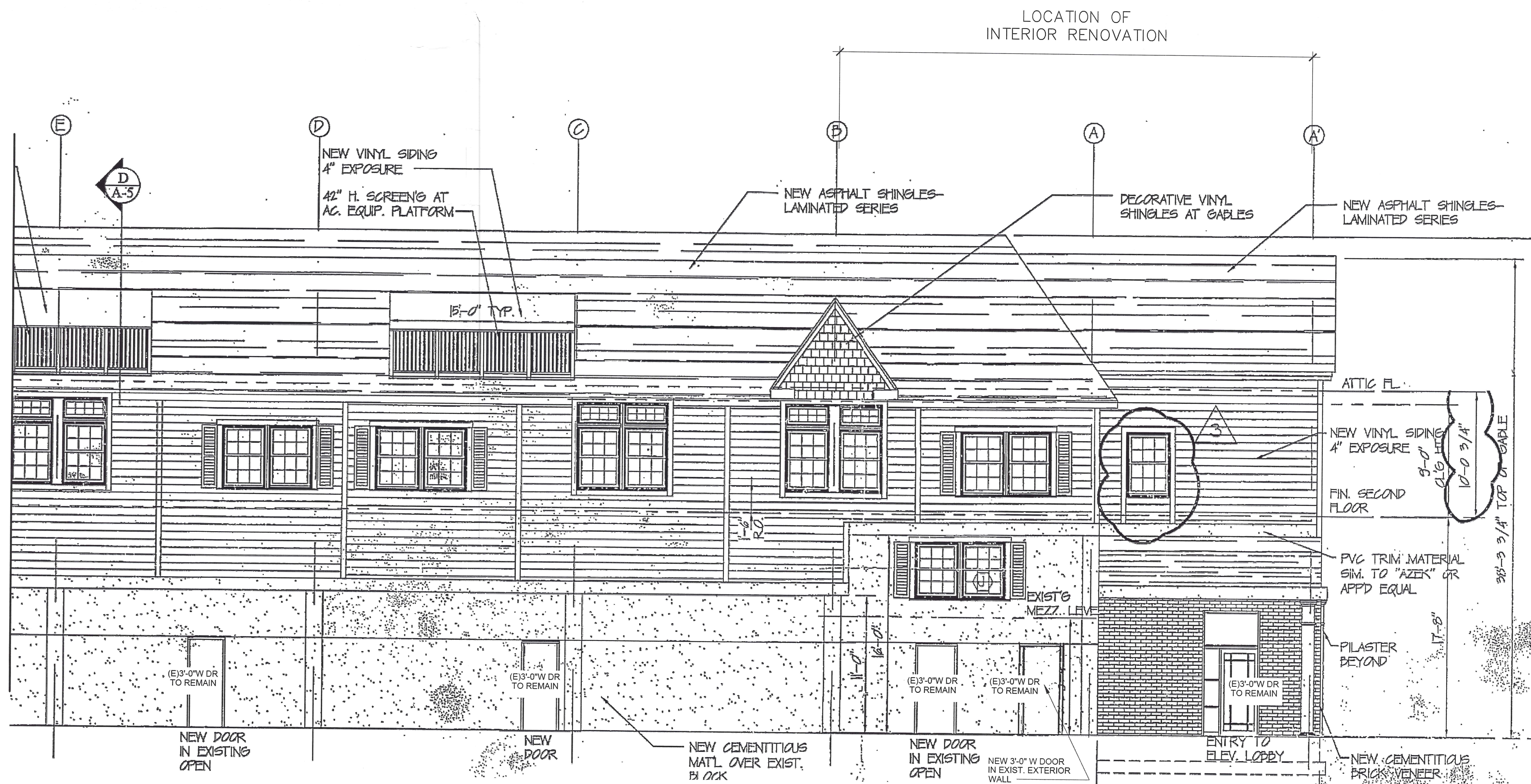
PROPOSED
FIRST FLOOR PLAN - PARTIAL
SCALE: 1/4" = 1'-0"



EXISTING BUILDING SECTION – PARTIAL
SCALE: 3/16" = 1'-0"



EXISTING FRONT (WEST) ELEVATION – PARTIAL
SCALE: 3/16" = 1'-0"



EXISTING REAR (EAST) ELEVATION – PARTIAL
SCALE: 3/16" = 1'-0"



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REVISIONS

NO.	DATE	DESCRIPTION
1	11/19/24	ZONING SUMMARY (G-1)

PROPOSED INTERIOR
ALTERATIONS FOR:

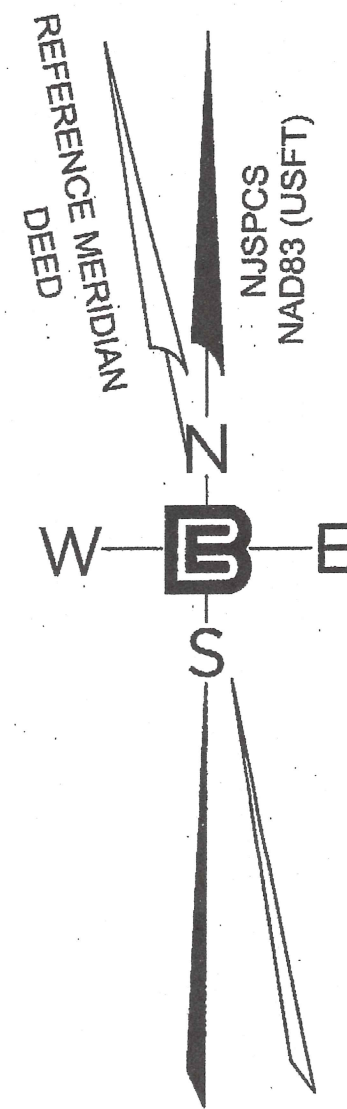
**MAHLOF
APARTMENT**

*** **

LOT 2, BLOCK 499
MIDDLETOWN, NJ

**PARTIAL
ELEVATIONS &
BLDG. SECTION**

DATE	09/24/2024	JOB NO	2024--
SCALE	AS NOTED	DWG. NO	
DWN. BY	WML		A-2
CHECKED	WML		OF



MAPLE AVENUE
(50' WIDE)

TAX BLOCK 498

LOT 1

R=158.00'
L=86.67'
CHB=S02°48'18"E

LOT 2

TAX BLOCK 499

GARFIELD AVENUE
(50' WIDE)

CLINTON AVENUE
(50' WIDE)

SURVEY CERTIFIED TO:

GERILYN and DAVID 877-885 MAIN STREET, LLC;
CHICAGO TITLE INSURANCE COMPANY;
SPRING VALLEY TITLE AGENCY, INC.;
DAVID B. ZOLOTOROFF, ESQ.

NOTES, certification continued;

- BOUNDARIES SHOWN ARE THE RESULT OF AN ACTUAL FIELD SURVEY BASED ON AVAILABLE MAPS, DEEDS OF RECORD AND PHYSICAL EVIDENCE.
- A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO N.J.A.C. 13:40-5.1(d).
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR. ALL INFORMATION REGARDING RECORD EASEMENTS, ADJOINERS AND OTHER DOCUMENTS WHICH MIGHT AFFECT THE QUALITY OF TITLE TO LOT 2 SHOWN HEREON WAS GAINED FROM TITLE COMMITMENT NUMBER SVT-8752 PREPARED BY CHICAGO TITLE INSURANCE COMPANY DATED JULY 2, 2012.
- HORIZONTAL DATUM BASED ON NAD 83, VIA GLOBAL POSITIONING SYSTEMS (GPS). THE GEOGRAPHIC AND STATE PLANE COORDINATES CONTAINED HEREON WERE THE RESULT OF A SURVEY USING R.T.K. DUAL FREQUENCY G.P.S./G.N.S.S. RECEIVERS AND HAVING A POSITIONAL TOLERANCE LESS THAN 2 CM AT THE 95% CONFIDENCE LEVEL. REFERENCE MONUMENTS PROVIDED BY MULTIPLE KEYNET VIRTUAL BASE STATIONS OBSERVED ON DECEMBER 23, 2009.
- LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED ON OBVIOUS ABOVE GROUND PHYSICAL UTILITY APPURTENANCES AND ACCESSIBLE MANHOLES. THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED BY DIGGING TEST HOLES PRIOR TO ANY DESIGN OR CONSTRUCTION. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.

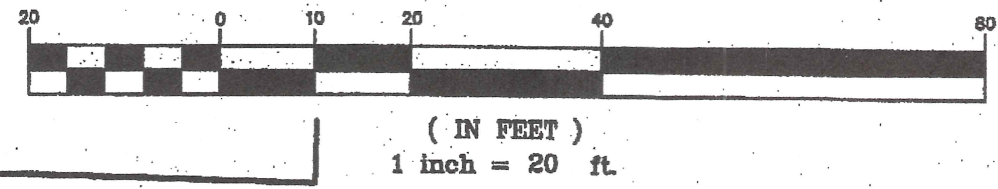
REFERENCES

- A CERTAIN MAP ENTITLED "CAMBELLS JUNCTION SUBDIVISION OF BLOCKS 967 & 967.01" PREPARED BY T&M ASSOCIATES.
- TAX MAP OF TOWNSHIP OF MIDDLETOWN, SHEET 54.
- BASIS OF TITLE: DEED BOOK 8945 PAGE 2872.
- FILED MAP ENTITLED "MAP OF THE LEONARD TRACT AT LENISON, MONMOUTH CO." FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE AS CASE #45-1 ON MAY 3, 1911.

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

JOSEPH C. O'MAHONEY
N.J. PROFESSIONAL LAND SURVEYOR
NO. 24GS04328700

GRAPHIC SCALE



1	UPDATE SURVEY (PARKING, ASPHALT, SIGNS, CATCH BASIN, OVERHEAD WIRES, TENANTS)	JOM	2024-09-04
REV. NO.	DESCRIPTION	DRAWN	DATE
FIELD DATE:	8/09/2012		
FIELD CREW:	M.R. P.A.P. J.D.		
CERT. OF AUTH.	GA28068900		
DRAWN:	M.R.		
CHECKED:	M.R.		
REV. NO.	1	DATE:	AUGUST 10, 2012
		SCALE:	1"=20'
		FILE NO.	12-217C
		DWG NO.	SV-1

LOCATION SURVEY
OF
LOT 2 in BLOCK 499 875-885 MAIN STREET
TOWNSHIP OF MIDDLETOWN
COUNTY OF MONMOUTH, N.J.

PREPARED FOR
GERILYN and DAVID 877-885 MAIN STREET, LLC

BERTIN ENGINEERING
66 GLEN AVENUE
GLEN ROCK, NJ 07462
P 201.570.6668
F 201.670.9788
www.bertinengineering.com

TOWNSHIP OF MIDDLETOWN

Planning Board
1 Kings Highway
Middletown, NJ 07748-2594

DAVID MERCES
Chairman



AMY H. CITRANO, P.P., A.I.C.P.
Director of Planning

FIONA TRIGG
Board Secretary

Tel: (732) 615-2098

TECHNICAL MEMORANDUM

DATE: January 22, 2026
APPLICATION: Gerilyn & David 877-885 Main Street LLC
877 Main Street
Block 499, Lot 2
B-1 Business Zone
Waiver of Minor Site Plan

PROJECT DESCRIPTION

The applicant seeks a waiver of minor site plan approval for interior renovations to an existing mixed-use building. The applicant proposes to convert 955 sf of existing second-story storage space into a new two-bedroom apartment.

The subject property contains the following pre-existing non-conforming conditions:

- Minimum front yard setback where 15' is required and 8.9' exists;
- Minimum side yard setback where 5' is required and 4.8' exists;
- Minimum street side yard setback where 7.5' is required and 7.4' exists;
- Maximum lot coverage where 70% is permitted and 93.5% exists; and
- Minimum buffer width where 50' buffer to a residential zone is required and 22' exists.

PROPERTY HISTORY

In 2005, the subject property was granted Preliminary and Final Major Site Plan approval by the Planning Board to establish a mixed residential/retail use by adding a 11,900 sf second story to an existing single-story commercial building to create ten (10) apartments; construct eleven (11) new parking spaces to the rear of the building; and to reconfigure a portion of the existing front parking area. Ten (10) parking spaces in the rear of the building were to be designated as "resident parking only" and two (2) parking spaces in the front were to be designated as "employee parking only."

PROPERTY DESCRIPTION, ZONING AND SURROUNDING LAND USE

The subject property, located in the area known as Campbell's Junction, is 25,552 sf in area, and contains a two-story mixed-use building with commercial uses on the first floor, 10 residential units on the second floor and associated parking in the front and rear of the building. The property has primary frontage along Main Street, secondary frontage along Maple Avenue to the northern elevation of the building and tertiary

Many Neighborhoods. One Middletown!

Belford ◦ Chapel Hill ◦ Fairview ◦ Harmony ◦ Leonardo ◦ Lincroft ◦ Locust ◦ Middletown Village
Monmouth Hills ◦ Navesink ◦ New Monmouth ◦ North Middletown ◦ Nut Swamp ◦ Oak Hill ◦ Port Monmouth ◦ River Plaza

frontage along Midway Drive to the rear of the building. The subject property is located in the B-1 Business Zone and is surrounded by commercial uses to the south and west, single family uses in the R-10 Zone to the north and by a multi-family apartment building to the east.

The subject property contains cross access and parking easements for the adjacent commercial lots 1 (Dunkin Donuts) and 3 (south of the subject building).

PLANNING COMMENTS

1. Minor Site Plan Waiver - Chapter 540-408F of the Middletown Township Land Use Development Regulations permits the Planning Board to grant a waiver of site plan approval for certain applications if the applicant can clearly demonstrate that because of particular conditions relating to the subject property literal enforcement of a formal application for minor site plan is impractical and that the proposal does not noticeably effect the items set forth in the Planning and Development Regulations.

The proposal may be considered for a site plan waiver by the Planning Board under 540-408F(1)(c) as long as the Applicant can confirm that building alterations and additions do not increase the footprint of the structure and do not increase the total gross floor area by 25% or more, provided that adequate parking presently exists on site or is proposed.

The applicant shall indicate in testimony the proposed use(s) for the existing building so that the off-street parking requirement can be calculated and verified. Two (2) parking spaces will be required for the proposed apartment. The parking should be located to the rear of the building along with the other designated "resident only" spaces.

2. Compliance Review of 2005 Conditions of Approval - Additionally, the applicant shall indicate in testimony that the proposed improvements will comply with the 2005 Resolution of Approval. Specifically, ensuring that the designated parking for residents and employees are clearly identified as such.

MISCELLANEOUS COMMENTS

1. Review and approval from the Fire Advisory Review Board is required.
2. Review and approval from TOMSA is required.
3. Contribution to the Affordable Housing Trust Fund will be required at the time of Certificate of Occupancy.

DOCUMENTS REVIEWED

- Written request of checklist waivers, prepared by Gerilyn & David 877-885 Main St LLC, dated November 13, 2025;
- Certificate of Limited Liability Company for Gerilyn and David 877-885 Main Street, LLC, dated July 13, 2025;
- Proposed Interior Alteration Plans, consisting of three (3) sheets, prepared by W. Lerman Architecture, dated September 24, 2024, last revised March 13, 2025;
- Location Survey, prepared by Bertin Engineering, dated August 10, 2012, last revised September 4, 2024;
- NJ Department of Community Affairs Certificate of Registration;
- Deed for subject property;

- Verification that property taxes are current;
- Zoning Officer Denial; and
- Development Permit Application.

We reserve the right to make additional comments based upon the submission of additional documents or testimony presented to the Board.

Report Prepared by:



Amy Citrano, PP AICP
Planning Director



Patricia Dunkak
Sustainability Coordinator

LOCATION MAP

