

PLANNING BOARD
MEETING TIME 7:00 PM - MAIN MEETING ROOM
FEBRUARY 4, 2026

1. OPENING STATEMENT

2. ROLL CALL

MR. DAVID MERCES Class IV Member	MR. PAUL SABELLA Class I/Mayor's Designee
MR. CARL RATHJEN Class IV Member	MR. JOHN RENTSCHLER Class II/Public Official Member
MR. KEVIN COLANGELO Class IV Member	MR. KEVIN SETTEMBRINO Class III/Township Committee Member
MR. STEVE SCHWEIZER Class IV Member	
MR. VLAD BERSON Class IV Member	MR. JAY BANASIAK Alternate #1
MR. JOSEPH AMECANGELO Class IV Member	MR. JAMES PISANO Alternate #2

3. SALUTE TO THE FLAG

4. READING OF AGENDA BY THE SECRETARY

5. APPROVAL OF MINUTES

Minutes to be posted to Township Website Upon Approval

6. APPROVAL OF RESOLUTIONS

#2025-206 - Christian Brothers Academy, 850 Newman Springs Road, Block 1063, Lot 67.01, located in the R-220 Zone.

7. ADMINISTRATIVE MATTERS

Master Plan Consistency Review of an Ordinance Amending Chapter 540 Of The Code Of The Township Of Middletown Governing The Development Standards for Block 811, Lots 97 On The Township's Official Tax Maps

8. OLD BUSINESS

None

9. NEW BUSINESS

9.I. #2025-400 – Milano Brothers Builders, LLC, Walada Avenue & Arlington Avenue, Block 158, Lot 1; Block 159, Lot 3; Block 122, Lot 122, Located In The R-7 Zone.

The applicant is seeking Preliminary & Final Major Subdivision Approval and Minimum Lot Frontage Variances where 75 feet is required, and 39.27 feet is proposed for New Lot 1; 64 feet is proposed for New Lot 2; 39.27 feet is proposed for New Lot 3; and 66.45 feet is proposed for New Lot 4. (This application was originally scheduled for the January 7, 2026 Planning Board Meeting and was carried to the February 4, 2026 meeting).

9.II. #2025-401 – Neuro-Inclusive Neighborhoods Of NJ 1, LLC, 911 Middletown-Lincroft Road, Block 990, Lot 57, Located In The R-30 Zone.

The applicant is seeking Preliminary & Final Major Subdivision to create eight (8) lots. Two (2) of the lots will contain single family homes, each of which will be owned and occupied by six (6) individuals, each of whom have Intellectual and Developmental Disabilities. (This application was originally scheduled for the January 7, 2026 Planning Board Meeting and was carried to the February 4, 2026 meeting.)

9.III. #2025-204 - Gerilyn & David 877-885 Main Street LLC, Block 499, Lot 2 Located In The B-1 Zone.

The applicant seeks a waiver of minor site plan approval for interior renovations to an existing mixed-use building.

Documents:

[MAHLOF INTERIOR RENOVATION PLANS.PDF](#)
[SURVEY 877 MAIN ST.PDF](#)
[TECH MEMO.PDF](#)

10. ADJOURNMENT

MAHLOF INTERIOR RENOVATION

BUILDING INFORMATION

TOWNSHIP OF BLFORD, NEW JERSEY INTERNATIONAL RESIDENTIAL CODE 2021 NEW JERSEY EDITION				
WHERE TEMPERATURE REINFORCEMENT IS NOT PROVIDED IN CONCRETE SLABS, OTHER THAN BASEMENTS, CONTRACTION JOINTS AT APPROXIMATELY 30' INTERVALS SHOULD BE PROVIDED. CONTRACTION JOINTS SHOULD BE LOCATED AT PARTITIONS. PROVIDE EXPANSION JOINTS AT PERIMETER OF EACH SLAB.				
USE GROUP:	R-5	SQUARE FOOTAGE:	(E) AREA TO BE RENOVATED TO	955 SF
TYPE OF CONSTRUCTION:	VB	VOLUME:	RENOVATED VOLUME	(E) 7,640 CU. FT.
DESIGN LOADS:	ROOF 40 PSF (LIVE LOAD + DEAD LOAD) FLOOR 50 PSF (LIVE LOAD + DEAD LOAD)			
2021 INTERNATIONAL RESIDENTIAL CODE, NEW JERSEY EDITION 2021 NATIONAL ELECTRICAL CODE, NEW JERSEY EDITION 2021 INTERNATIONAL ENERGY CONSERVATION CODE NJ EDITION (IECC) 2021 NATIONAL STANDARD PLUMBING CODE 2020 NATIONAL ELECTRICAL CODE (NEC)				
ALL MATERIALS USED ARE TO BE IN STRICT ACCORDANCE W/ MANUFACTURER'S RECOMMENDED DETAILS AND INSTRUCTIONS.				

ZONING SUMMARY

DESCRIPTION	Required	Existing	Proposed	Variance Required
Minimum Lot Size - Area	SF	10,000	25,552	25,552
Minimum Lot Size - Frontage	FT	100	178.45	178.45
Minimum Lot Size - Buildable Lot Area	SF	10,000	25,552	25,552
Minimum Front Yard	FT	15	8.9	8.9
Minimum Side Yard	FT	5	-4.8	-4.8
Minimum Street Side Yard	FT	7.5	7.4	7.4
Minimum Rear Yard	FT	15	N/A	N/A
Minimum Street Rear Yard	FT	15	22.1	22.1
Maximum Building Coverage	%	N/A	N/A	N/A
Maximum Lot Coverage	%	70	93.5	93.5
Maximum Height	Stories	2.5	2.5	2.5
Maximum Height	FT	35	34.3	34.3
Minimum Gross Floor Area - Total	SF	1,000	20,944	20,944
Minimum Gross Floor Area - First	SF	1,000	9,350	9,350
Maximum FAR	SF	N/A	N/A	N/A

CONCRETE SLABS (3000 PSI MIN)

WHERE TEMPERATURE REINFORCEMENT IS NOT PROVIDED IN CONCRETE SLABS, OTHER THAN BASEMENTS, CONTRACTION JOINTS AT APPROXIMATELY 30' INTERVALS SHOULD BE PROVIDED. CONTRACTION JOINTS SHOULD BE LOCATED AT PARTITIONS. PROVIDE EXPANSION JOINTS AT PERIMETER OF EACH SLAB.

CONCRETE FOOTINGS

BEARING VALUES (4000#/SF. BEARING CAP) EXCEPT WHEN DETERMINED BY FIELD LOADING TESTS ON SUPPORTING SOIL. THE MAXIMUM ALLOWABLE PRESSURE ON SUPPORTING SOIL UNDER SPREAD FOOTINGS AT OR NEAR THE SURFACE SHALL NOT EXCEED THE VALUES SPECIFIED INIRC, 2000 NJ EDITION. BEARING VALUES SHALL APPLY TO ALL MATERIALS OF SIMILAR PHYSICAL CHARACTERISTICS AND DISPOSITION.

CONCRETE FOOTINGS: CONCRETE IN FOOTINGS AND WALLS SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH OF NOT LESS THAN THREE THOUSAND (3000) POUNDS PER SQUARE INCH (PSI) AT TWENTY-EIGHT (28) DAYS. CONCRETE FOOTINGS SHALL NOT BE PORED WITH COLD WATER. CONCRETE FOOTINGS SHALL BE PROTECTED FROM FREEZING DURING DEPOSITION AND FOR A PERIOD OF NOT LESS THAN FIVE (5) DAYS THEREAFTER.

TRENCH FOOTINGS: ALL CONCRETE TRENCH FOOTINGS SHALL BE EXCAVATED NEAT AND TRUE, AND CONCRETE CAST IMMEDIATELY UPON FORMATION OF TRENCH.

HEATING & AIR CONDITIONING

- CONTRACTOR TO COMPLY WITH ALL FEDERAL, STATE AND MUNICIPAL LAWS, AND ALL CODE, ORDINANCE, RULES AND REGULATIONS APPLICABLE TO THE PROJECT.
- DUCTWORK: (A) DUCTWORK TO BE CONSTRUCTED WITH A SMOOTH INSIDE SURFACE. (B) DUCTWORK SHALL BE GALVANIZED STEEL, WEIGHTS AND CONSTRUCTION (C) DIMENSION GIVING ON ARCHITECT'S DRAWING FOR MAIN DUCTWORK ARE RUN-OUTS SHALL HAVE V.C. DAMPER AT TAKE-OFF POINT. RISER WITHIN WALL CAVITY SHALL BE INSULATED FROM EXTERIOR WALL.
- CONTRACTOR TO INSTALL AND BALANCE AIR SYSTEM TO PROVIDE ROOM TEMPERATURES (HEATING AND COOLING CYCLE) AS REQUIRED BY HOW APPROVED STANDARDS AND ASHRAE GUIDE.
- CONTRACTOR SHALL SUBMIT TO ARCHITECT/HOMEOWNER FOR APPROVAL: (A) SHOP DRAWING IN EQUIPMENT, INCLUDING DAY-NIGHT THERMOSTAT. (B) SAMPLE OF AIR OUTLETS AND RETURN GRILLES.
- CONTRACTOR TO START AND OPERATE SYSTEM FOR RESIDENCE GIVING HOMEOWNER OPERATING MANUALS.
- GUARANTEES: (A) EQUIPMENT, LABOR, AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR (B) TWO (2) YEAR WARRANTY ON ALL EQUIPMENT. CONTRACTOR TO EXTEND HEATING CYCLE: SYSTEM TO DELIVER 70 F AT 0 OUTDOORS WITH A 15 MPH PREVAILING WIND.
- COOLING CYCLE: SYSTEM TO DELIVER 75 F AT 95 OUTDOORS WITH A 50% RELATIVE HUMIDITY.
- PROVIDE A PROPERLY LABELED SHUTOFF SWITCH FOR EACH FURNACE IN A CONVENIENT LOCATION (TOP OF BASEMENT STAIRS, ETC.)

PLUMBING NOTES

- PLUMBING INSTALLATION SHALL CONFORM TO THE STANDARDS OF THE NATIONAL PLUMBING CODE AND ANY APPLICABLE LOCAL CODES AND REGULATIONS.
- BRANCH SUPPLIES TO EACH FIXTURE OR EQUIPMENT SHALL BE VALVED.
- MINIMUM SLOPE ON SANITARY WASTE SHALL BE 1/8" PER FOOT.
- WATER PIPING SHALL BE PITCHED TO PROVIDE COMPLETE DRAINAGE BY THE LOWEST FIXTURE.
- A CLEANOUT SHALL BE PROVIDED EVERY 50' OR HORIZONTAL RUNS AND AT EACH CHANGE OF DIRECTION 45 DEGREES OR GREATER.
- SOIL OR VENT PIPING SHALL BE TYPE PVC. ALL ABOVE GROUND WATER PIPING WILL BE COPPER TUBING TYPE "L".
- CONTRACTOR SHALL INSTALL CAP FLASHING ON ALL PIPES PASSING THROUGH ROOF.
- HOT AND COLD WATER BRANCHES SHALL BE PROVIDED WITH AIR CHAMBER AT THEIR UPPERMOST POINT.
- CONTRACTOR SHALL SUBMIT TO ARCHITECT/HOMEOWNER SPECIFICATIONS AND/OR SAMPLES FOR APPROVAL OF ALL EQUIPMENT USED ON THE PROJECT.
- PROVIDE EXTERIOR HOSE BIBS ON FRONT AND REAR OF EACH RESIDENCE, INCLUDING BACK-FLOW PREVENTER.
- CONTRACTOR SHALL MAKE ALL TESTS AS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER PROJECT.
- CONTRACTOR SHALL GUARANTEE FOR PERIOD OF ONE (1) YEAR ALL LABOR, WORKMANSHIP AND EQUIPMENT. ALL PIPING SHALL BE GUARANTEED FOR A PERIOD OF TWO (2) YEARS AS REQUIRED BY HOW APPROVED STANDARDS. FACTORY WARRANTIES ON EQUIPMENT SHALL BE EXTENDED TO HOMEOWNER AND/OR BUILDER.
- ALL WATER LINES SHALL BE ROUTED SUCH AS TO PREVENT SAME FROM FREEZE-UP UNDER EXTREMELY LOW AMBIENT TEMPERATURES.
- ALL TOILETS SHALL BE OF THE 1.6 GALLON FLUSH TYPE.

FLOORING NOTES

- CONCRETE SLAB SHALL BE PROPERLY FLASHED AND LEVELED PRIOR TO INSTALLATION OF FLOORING MATERIALS.
- FLOOR COVERING IN CLOSETS SHALL MATCH THE FINISH OF THE SPACE ONTO WHICH THE CLOSET OPENS.
- PROVIDE AND INSTALL A 4" FLAT VINYL BASE IN ALL CARPETED AREAS AND A 4" VINYL COVE BASE IN ALL VINYL TILE AREAS. (UNLESS OTHERWISE NOTED)
- ALL SADDLES AND/OR REDUCING STRIPS (VINYL OR METAL) SHALL BE FURNISHED AND INSTALLED BY THE CARPETING CONTRACTOR.
- THE FLOORING CONTRACTOR SHALL PROVIDE PROPER METAL ANGLES BETWEEN FINISHED FLOOR MATERIALS AS CALLED FOR ON THE DRAWINGS. SUBMIT SAMPLES APPROVED THICKNESS, COLOR, GRADE, LAY, SCREWS, SPIKES, NAILS, ETC. IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE. BOLTED CONNECTIONS SHALL BE SNUGGED UP TIGHTLY WITHOUT CRUSHING WOOD FIBERS UNDER THE WASHERS.
- AT-GRADE PROTECTION: ALL EXTERIOR WOOD FRAMEWORK, WHETHER STRUCTURAL OR NON-LOADBEARING, SHALL BE SUPPORTED ON APPROVED FOUNDATION. MINIMUM OF AT LEAST EIGHT (8) INCHES ABOVE THE FINISHED GRADE. WHERE CLIMATIC CONDITIONS OR GEOGRAPHICAL LOCATION REQUIRE ADDITIONAL CONTROL MEASURES TO PROTECT BUILDINGS AND STRUCTURES AGAINST DECAY AND TERMITE ATTACK.
- FOUNDATION ANCHORAGE: WALL SILL PLATES, A MINIMUM OF TWO-BY-FOUR INCH (2" X 4") MEMBERS SHALL BE SIZED AND ANCHORED TO FOUNDATION WALL OR PIER AT INTERVALS AS REQUIRED TO RESIST WIND UPLIFT. ANCHOR BOLTS SHALL BE MINIMUM OF ONE (1) INCH DIAMETER. THE BOLTS SHALL BE EMBEDDED IN FOUNDATION TO A DEPTH OF EIGHT (8") INCHES Poured CONCRETE, AND NOT LESS THAN FIFTEEN (15") INCHES FROM UNIT MASONRY. THERE SHALL BE A MINIMUM OF TWO ANCHOR BOLTS IN EACH SECTION OF PLATE AND ANCHOR BOLTS SHALL BE PLACED 12" FROM THE END OF EACH SECTION OF PLATE WITH INTERMEDIATE BOLTS SPACED A MAXIMUM OF SIX (6) FEET ON CENTER.
- WOOD IN CONTACT WITH THE GROUND: ALL WOOD IN CONTACT WITH THE GROUND AND SUPPORTING PERMANENT STRUCTURES SHALL BE APPROVED TREATED WOOD.
- SILLS: ALL SILLS WHICH REST ON CONCRETE OR MASONRY EXTERIOR WALLS AND ARE LESS THAN EIGHT (8") INCHES FROM EXPOSED EARTH SHALL BE OF APPROVED DURABLE OR TREATED WOOD.
- SLEEPERS AND SILLS: SLEEPERS AND SILLS ON A CONCRETE OR MASONRY SLAB WHICH IS IN DIRECT CONTACT WITH EARTH SHALL BE OF APPROVED DURABLE OR TREATED WOOD.
- ROOF AND WALL SHEATHING: ONE-HALF (1/2") INCH, D.F. PLYWOOD EXT. C C OR STRUT. INTER. C-3 GRADES. MAX. RAFTER OR TRUSS SPACING: 24" O.C. EDGES SHALL BE BLOCKED WITH 1/2" H-FLAPS AT EACH TRUSS BAY, FACE GRAIN PARALLEL TO SUPPORTS; EXTERIOR TYPE SHALL BE USED WHEN EXPOSED TO WEATHER.
- FRAMING CONTRACTOR SHALL GUARANTEE HIS WORK FOR A PERIOD OF ONE (1) YEAR FROM DATE OF OCCUPANCY AGAINST WORKMANSHIP DEFECTS, INCLUDING BUT NOT LIMITED TO: LOOSE, SLIPPED, OR LOOSE SUBFLOOR UNEVEN FLOORS, AND OUT-OF-PLUMB WALLS AND THE LINE.
- ANY WINDOW, DOOR, OR OTHER OPENING LOCATED IN LOAD BEARING WALL SHALL HAVE (2) 2" x 12" LINTEL.
- STAIR RAILS SHALL BE A MINIMUM OF 36" HIGH WITH A MAXIMUM 2" HANDGRIP. BALUSTERS SHALL BE SPACED SUCH THAT NO SPACE IS 4" OR GREATER.
- SPOTS AND/OR SMears OF CARPET CEMENT SHALL BE PROMPTLY REMOVED WITH AN APPROVED SOLVENT.

BIDDING SPECIFICATIONS

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GENERAL NOTES

- THESE DRAWINGS AND REPRODUCTIONS THEREOF ARE INSTRUMENTS OF SERVICE, AND AS SUCH REMAIN THE PROPERTY OF THE ARCHITECT. ANY UNAUTHORIZED USE OF THESE DRAWINGS OR REPRODUCTIONS BY ANY PARTY SHALL MAKE THE USER INDEBTED TO THE ARCHITECT FOR HIS SERVICE.
- ANY PROSPECTIVE BIDDERS ARE STRONGLY URGED TO REVIEW THE DOCUMENTS PROVIDED. SHOWN ARE THE PROPOSED SITE PRIOR TO BIDDING. ANY DISCRENCIES DISCOVERED SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION. ANY CHANGES MADE TO THE DRAWINGS DURING CONSTRUCTION SHOULD LIKEWISE BE IMMEDIATELY BROUGHT TO THE ARCHITECT'S ATTENTION FOR RESOLUTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CHANGES MADE TO THE DRAWINGS BY OTHERS, WITHOUT THE ARCHITECT'S KNOWLEDGE. ANY CHANGES OR DEVIATIONS SHALL REMAIN THE RESPONSIBILITY OF THE PARTY IMPLEMENTING THEM. ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES.
- DIMENSIONS AS INDICATED ON DRAWINGS SHALL TAKE PRIORITY OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS!

LIST OF DRAWINGS

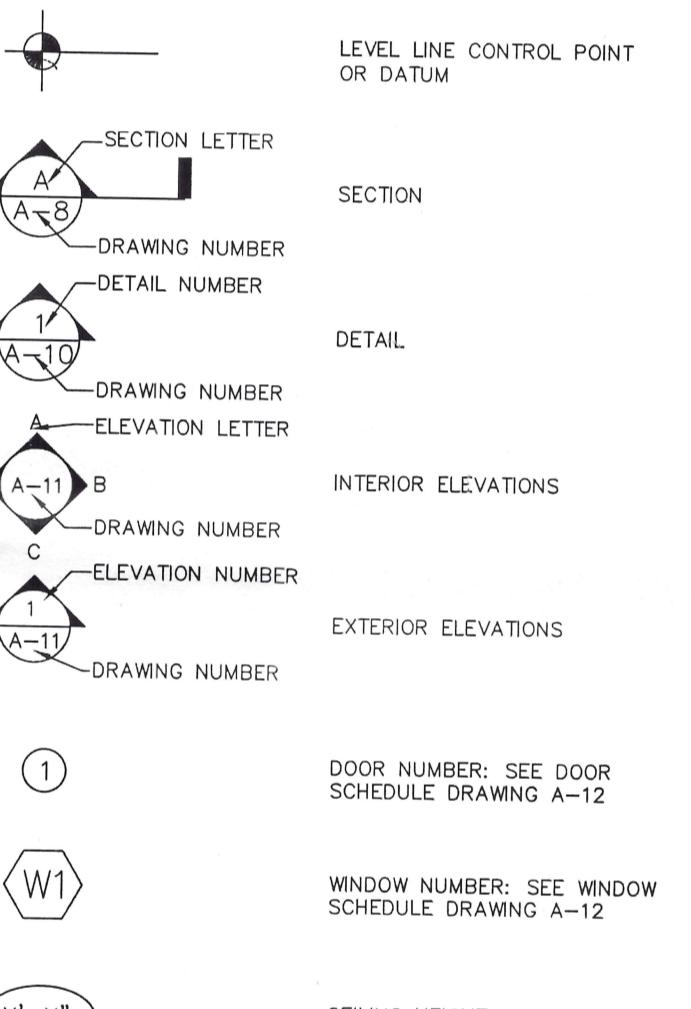
C-1 GENERAL INFORMATION
A-1 FIRST FLOOR PLAN & ELECTRIC PLAN
A-3 PARTIAL FRONT & REAR ELEVATIONS & BLDG. SECTION



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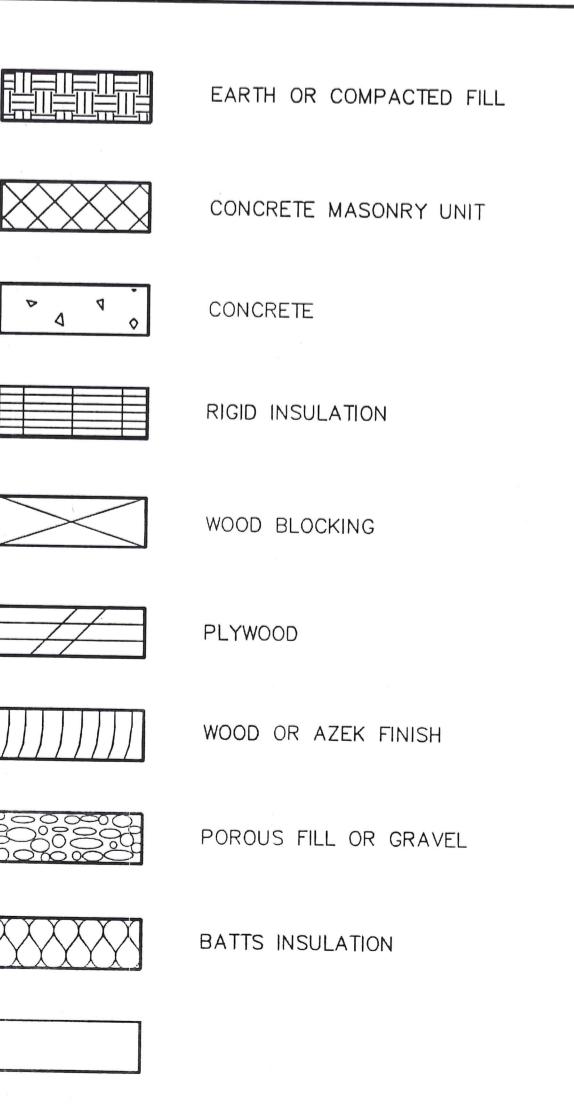
SYMBOLS



PROPOSED INTERIOR ALTERATIONS FOR:

MAHLOF APARTMENT

MATERIAL LEGEND



LOT 2, BLOCK 499
MIDDLETON, NJ

GENERAL INFORMATION

DATE: 09/24/2024 DUE NO: 2024-..
SCALE: AS NOTED DWG. NO:
DWN. BY WML G-1
CHECKED WML 1 DF



W. LERMAN ARCHITECTURE

Architecture - Land Planning
Space Planning - Interior Design

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LICENSE

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REVISIONS

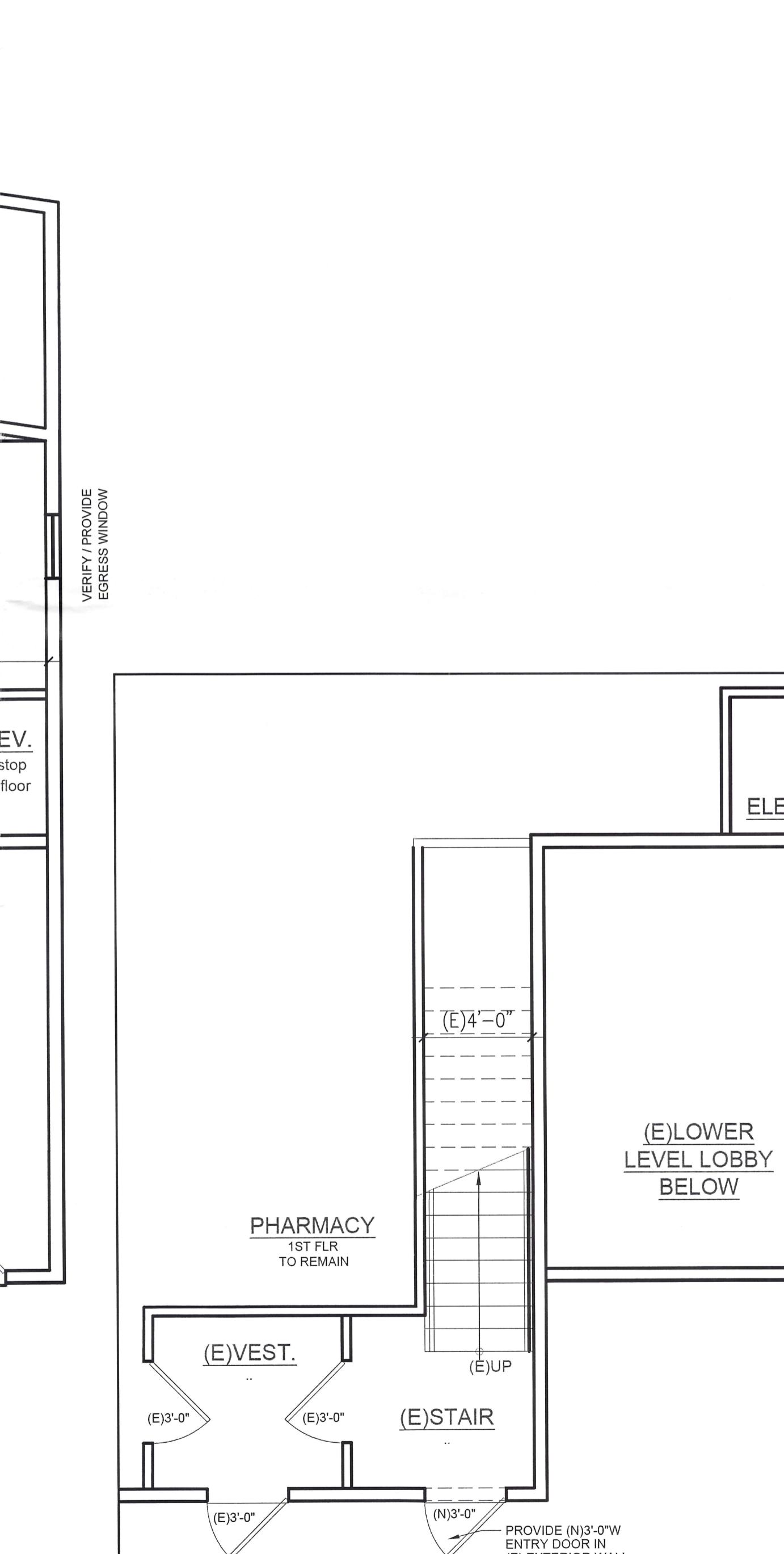
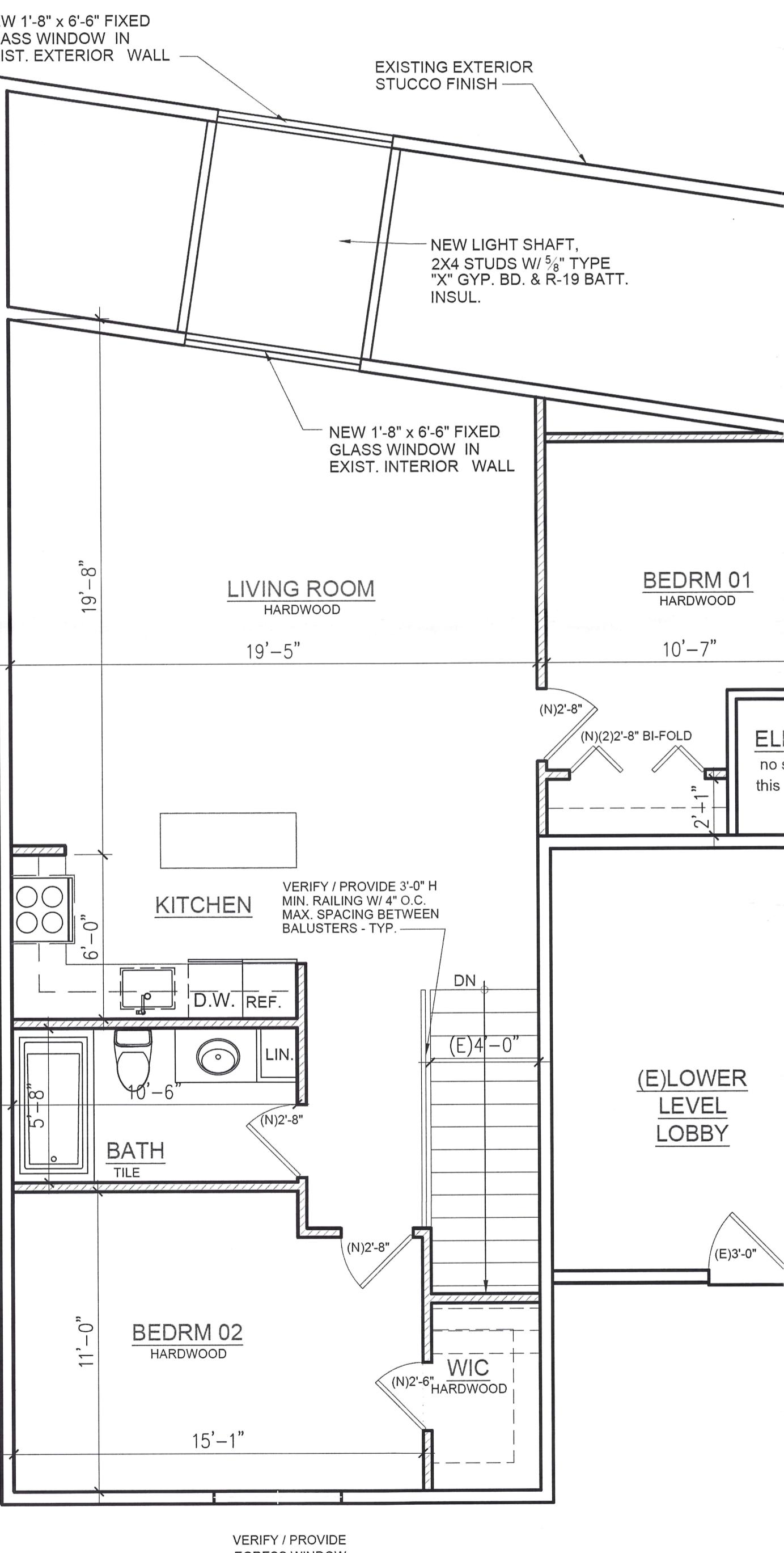
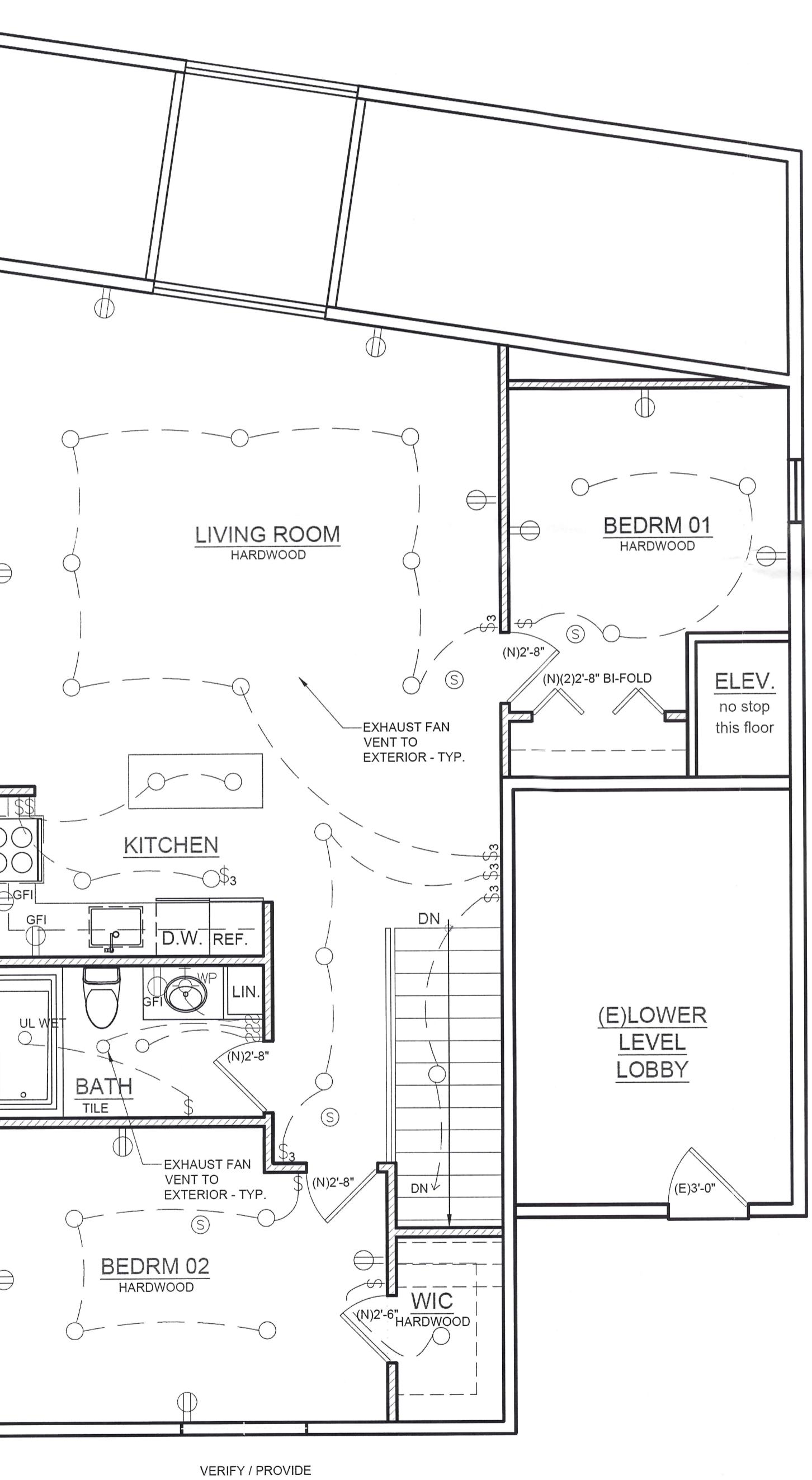
1	11/19/24	ZONING SUMMARY (G-1)

PROPOSED INTERIOR ALTERATIONS FOR:

MAHLOF
APARTMENT

LOT 2, BLOCK 499
MIDDLETOWN, NJ

SECOND FLOOR
PLAN



WALL LEGEND

SYMBOL	DESCRIPTION
_____	EXIST. WALL TO REMAIN
	NEW WALL
-----	EXISTING WALL TO BE REMOVED
	PATCH TO MATCH EXIST. CMU WALL

ELECTRICAL PLAN NOTES:

- ALL ELECTRICAL AND TELEPHONE WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
- ALL VISIBLE ELECTRICAL EQUIPMENT SUCH AS SWITCHES, DUPLEX OUTLETS, SHALL BE INSTALLED BY COMPETENT MECHANICS IN A FIRST CLASS MANNER.
- EXCEPT AS NOTED, ALL ELECTRICAL AND TELEPHONE WALL OUTLETS SHALL BE MOUNTED AT 18" A.F.F.
- ALL EXISTING WALL OUTLETS WHICH DO NOT INTERFERE WITH NEW CONSTRUCTION SHALL REMAIN. ANY EXISTING ELECTRICAL OUTLETS, ETC. WHICH INTERFERE WITH NEW PARTITION WORK SHALL BE RELOCATED TO A LOCATION APPROVED BY THE ARCHITECT OR OWNER.
- ALL TELEPHONE WORK SHALL BE COORDINATED WITH A TELEPHONE COMPANY REPRESENTATIVE.
- NO FLOOR OR WALL OUTLETS SHALL BE CONNECTED TO LIGHTING CIRCUITS.
- ALL THERMOSTATS SHALL BE MOUNTED 4'-6" ABOVE FINISHED FLOOR U.O.N.
- ALL SWITCHES SHALL BE MOUNTED AT 4'-0" ABOVE FINISHED FLOOR U.O.N.
- CONTRACTOR SHALL RECEIVE, HANDLE, ASSEMBLE, INSTALL, AND CONNECT LIGHT FIXTURES, INCLUDING INITIAL LAMPS.

ELECTRICAL LEGEND

○	20 AMP 110V DUPLEX OUTLET
○ W.P.	SAME AS NOTED ABOVE EXCEPT PROVIDE WEATHERPROOF COVER.
○ GFI	20 AMP 110V DUPLEX OUTLET - GROUND FAULT OUTLET
○ GFI +42	20 AMP 110V DUPLEX OUTLET - GROUND FAULT OUTLET TO BE MOUNTED 42" A.F.F.
↔ 3	LIGHT SWITCH - 3 WAY
↔	LIGHT SWITCH
○ CM	INTEGRATED HARD-WIRED SMOKE/CARBON MONOXIDE DETECTION SYSTEM
△	VOICE/DATA JACK
▽	WALL SCONCE
○	RECESSED INCANDESCENT LIGHT FIXTURE
○	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE
□	BATHROOM FAN (TO BE VENTED TO EXTERIOR THROUGH METAL DUCTS)
○	SURFACE MOUNTED DECORATIVE INCANDESCENT LIGHT FIXTURE TO BE SELECTED BY OWNER
○ WP	SURFACE MOUNTED WATER PROOF INCANDESCENT LIGHT FIXTURE TO BE SELECTED BY OWNER
○ S	SUSPENDED DECORATIVE INCANDESCENT EXTERIOR LIGHT FIXTURE TO BE SELECTED BY OWNER
B	INDICATES EXTERIOR TYPE FIXTURE
F.L.	INDICATES FLOOD LIGHT TYPE FIXTURE
T.C.	INDICATES FIXTURE TO BE CONTROLLED BY A TIME CLOCK
P.C.	INDICATES FIXTURE TO BE CONTROLLED BY A PULL CHAIN

NOTES:

- ALL INCANDESCENT LIGHT FIXTURES SHALL BE ON DIMMER SWITCHES.
- ALL FIXTURE SHALL BE AS SELECTED BY OWNER.
- G.C. SHALL VERIFY SELECTIONS W/ OWNER & ARCHITECT.
- ALL ELECTRICAL OUTLETS SHALL BE MOUNTED 18" A.F.F. UNLESS OTHERWISE NOTED

CONSTRUCTION NOTES

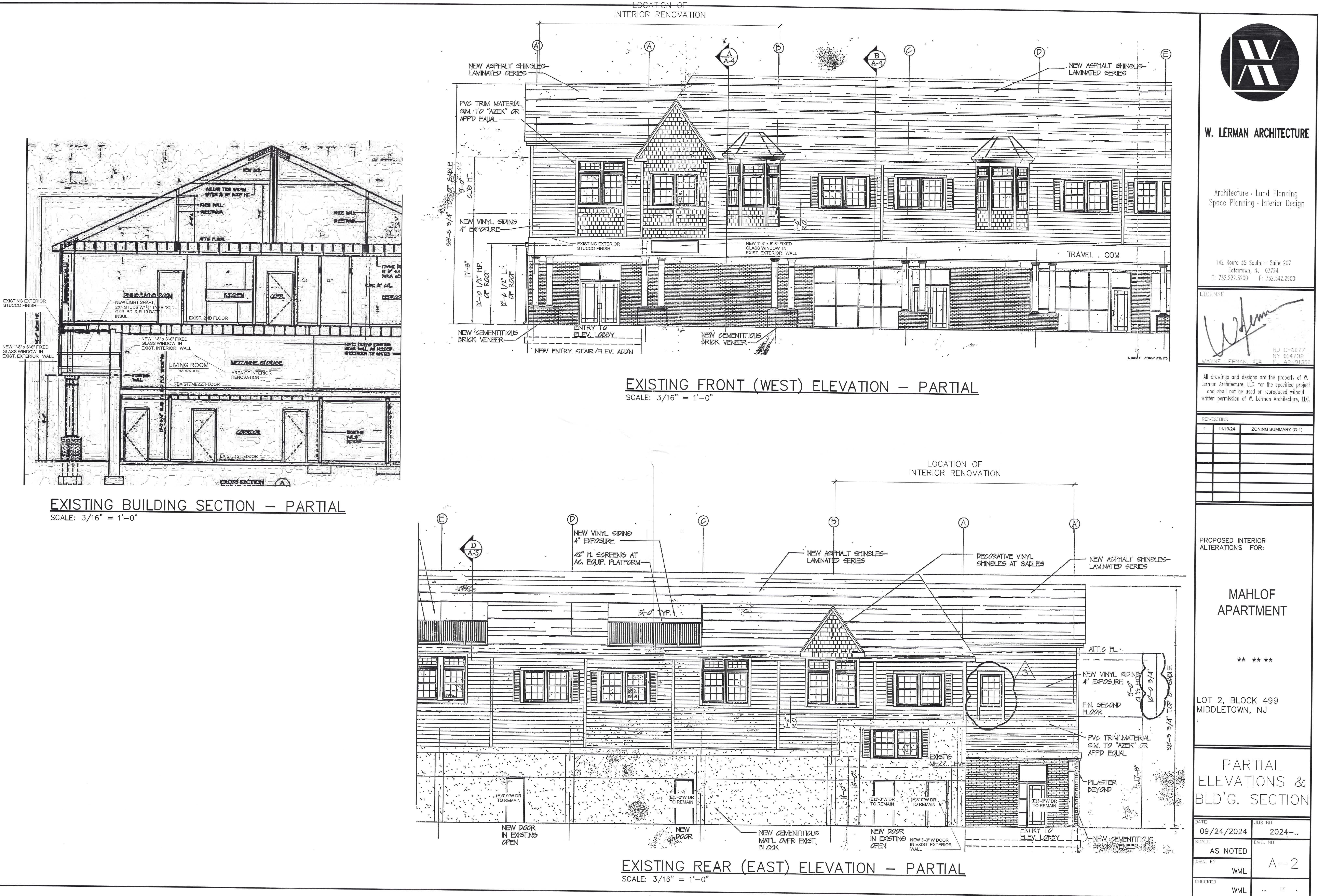
- ALL WORK AND MATERIALS SHALL BE PROVIDED AS SHOWN AND HEREIN SPECIFIED SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST APPLICABLE PROVISIONS OF UNIFORM CONSTRUCTION CODE OF THE STATE OF NEW JERSEY, LOCAL ZONING ORDINANCE AND PLANNING COMMISSIONS & REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER WORK OF THIS TYPE.
- THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE PRIOR TO BID MAKING HIMSELF THOROUGHLY FAMILIAR WITH THE CONDITIONS OF THE PROJECT AREA. ANY DIFFICULTIES WITH ACCESS, WALL ALIGNMENT OR OTHER EXISTING CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT FOR APPROVAL OF ALTERNATIVE MEANS.
- THE CONTRACTOR SHALL LAY OUT THE ENTIRE JOB, CHECK ALL MEASUREMENTS, CONTROLLING THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND OWNER. THE ARCHITECT AND OWNER SHALL MAKE AN INSPECTION UPON COMPLETION OF THE LAYOUT.
- DRAWINGS SHALL NOT BE SCALED. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SPACINGS, EXISTING FIELD CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS BEFORE BEGINNING CONSTRUCTION.
- ALL CONTRACTOR'S WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER, PROVIDING WORKMEN AND MATERIALS, MATCHING AND ALIGNING ALL SURFACES WHERE APPLICABLE TO AFFORD A FINISHED, NEAT APPEARANCE AT THE COMPLETION OF THE ENTIRE PROJECT. THE CONTRACTOR SHALL PROTECT ALL ADJACENT SURFACES FROM DAMAGE DURING CONSTRUCTION. NEW WORK AS INDICATED, SPECIFIED OR IMPLIED AS REQUIRED TO PRODUCE A FINISHED PRODUCT IN PROPER WORKING LEGAL ORDER CONFORMING TO THE BEST STANDARDS OF WORKMANSHIP.
- THE CONTRACTOR SHALL EXAMINE ALL EXISTING MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS AND CONFER WITH THE OWNER AND ARCHITECT TO DETERMINE WHAT ADDITIONS AND MODIFICATION ARE NECESSARY.
- THE ELECTRICAL, PLUMBING AND MECHANICAL SYSTEMS SHALL BE DESIGNED BY A LICENSED NJ REGISTERED ENGINEER/CONTRACTOR PER ALL APPLICABLE CODES AND FILLED SEPARATELY BY THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH THE OWNER BEFORE BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE ALL SCHEDULING AND THE WORK OF ALL SUB-CONTRACTORS TO ALLOW FOR THE "FULL COOPERATION OF THE TRADES."
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS AS REQUIRED AND PAY FOR SAME.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OR OWNER IN WRITING OF ANY FIELD CHANGES MADE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL SCHEDULE ALL REQUIRED INSPECTIONS WITH THE APPROPRIATE OFFICIALS, DEPARTMENTS, ETC. AND BE RESPONSIBLE FOR OBTAINING THE CERTIFICATE OF OCCUPANCY.
- ALL SUBSTITUTIONS OF SPECIFIED MATERIALS AND EQUIPMENT SHALL BE APPROVED BY THE ARCHITECT OR OWNER.
- ALL MATERIALS SHALL BE APPLIED OR USED ACCORDING TO THE MANUFACTURER'S PRESCRIBED INSTRUCTIONS AND RECOMMENDATIONS.
- ANY FINISH FLOOR ELEVATIONS INDICATED ON THE FLOOR PLAN ARE FOR REFERENCE ONLY. ACTUAL SITE ELEVATIONS MAY DIFFER. SEE SITE/LOT PLAN FOR ANY ADDITIONAL INFORMATION IF PROVIDED.
- THE CONTRACTOR SHALL MAKE ALL NECESSARY PROVISIONS FOR THE PROTECTION OF THE EXISTING BUILDING AND ITS CONTENTS FROM DAMAGE AND THEFT.
- THE CONTRACTOR SHALL PERIODICALLY REMOVE FROM THE EXTERIOR AND THE SURROUNDING CONSTRUCTION SITE AND DISPOSE OF BY LEGAL MEANS, ALL RUBBISH AND DEBRIS. AT THE COMPLETION OF THE WORK, HE SHALL LEAVE THE PREMISES "BROOM CLEAN" WITH ALL WOOD, DRYWALL AND FINISH WORK FREE FROM DISCOLORATION AND STAIN.
- THE CONTRACTOR SHALL PATCH/REPAIR TO ITS ORIGINAL STATE, ALL EXISTING EXTERIOR JOINTS AFFECTED BY THE NEW CONSTRUCTION.
- EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN WALL CAVITIES AND WINDOW OR DOOR FRAMES, BETWEEN WALL AND FOUNDATION, BETWEEN WALL AND ROOF, BETWEEN WALL PANELS, AT PENETRATIONS OR UTILITY SERVICES THROUGH WALLS, FLOORS AND ROOFS AND ALL OTHER OPENINGS IN THE EXTERIOR ENVELOPE SHALL BE CAULKED, GASKETED OR OTHERWISE FLASHED AND SEALED IN AN APPROVED MANNER AS REQUIRED TO PROVIDE WATER TIGHT CONDITION.
- ALL OPENINGS IN WALLS, FLOORS, ROOF, ETC. TO BE LOCATED, SIZED, FURNISHED AND INSTALLED AS PER MECHANICAL AND ARCHITECTURAL REQUIREMENTS EVEN IF SHOWN AS SUCH ON STRUCTURAL AND ARCHITECTURAL DRAWINGS.
- GENERAL CONTRACTOR SHALL VERIFY SITE CONDITIONS AS REQUIRED TO DETERMINE NUMBER OF STEPS FOR ACCESS TO GRADE FROM BUILDING. MAX. RISER @ 7"
- ALL COLORS, PATTERNS, TEXTURES, ETC. OF ALL MATERIALS AND THEIR FINISHES ARE TO BE SELECTED BY THE OWNER.
- ALL MATERIAL SHALL MATCH EXISTING, UNLESS OTHERWISE NOTED.
- PROVIDE R-11 ACOUSTICAL INSULATION AT ALL NEW BATHROOM WALLS AND FLOORS.

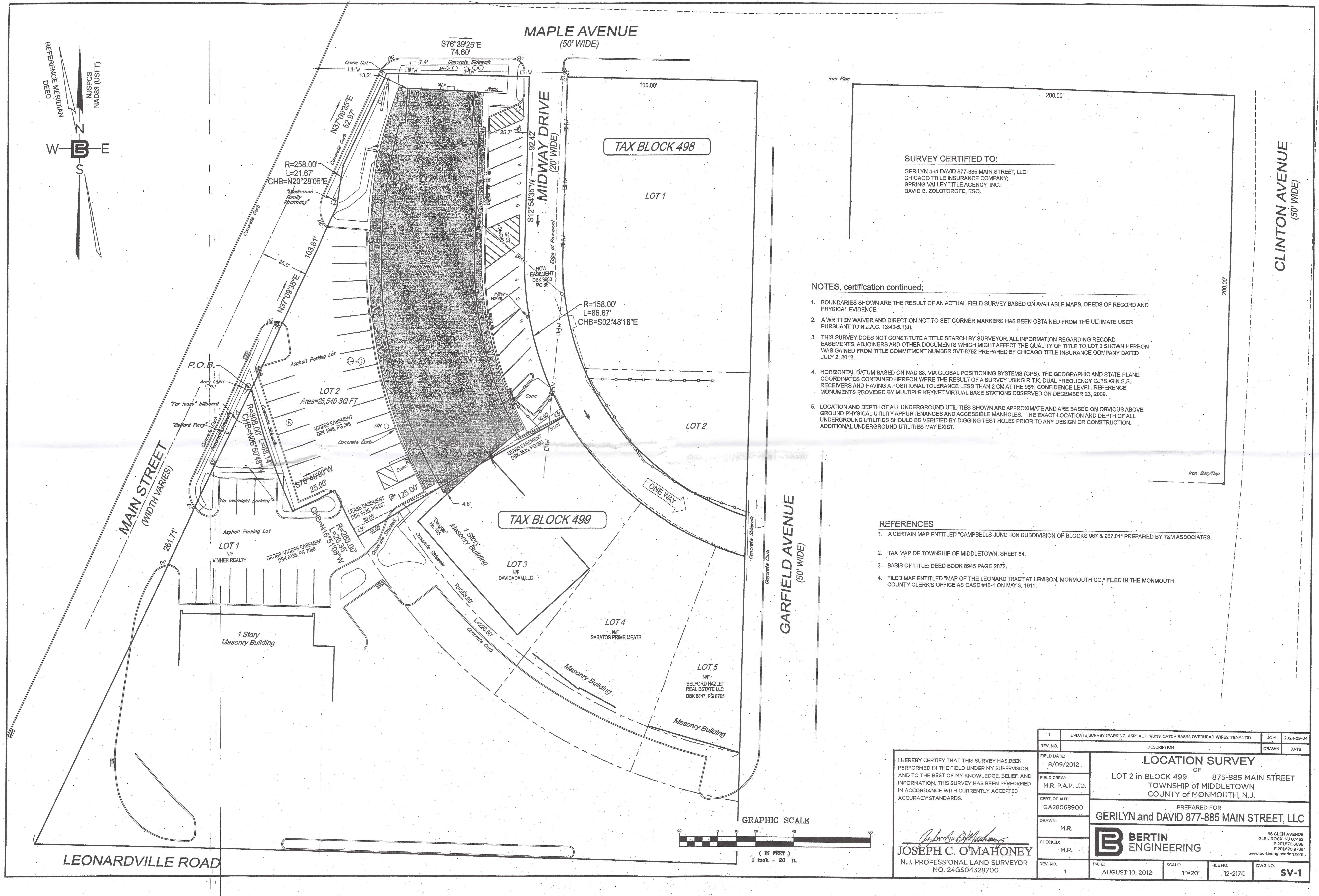
- PROPOSED

FIRST FLOOR PLAN - PARTIAL

SCALE: 1/4" = 1'-0"

DATE	JOB NO
09/24/2024	2024--
SCALE	DWG. NO
AS NOTED	
DW. BY	A-3
WML	
CHECKED	7 DF





TOWNSHIP OF MIDDLETOWN

Planning Board
1 Kings Highway
Middletown, NJ 07748-2594

DAVID MERCES
Chairman



AMY H. CITRANO, P.P., A.I.C.P.
Director of Planning

FIONA TRIGG
Board Secretary

Tel: (732) 615-2098

TECHNICAL MEMORANDUM

DATE: January 22, 2026
APPLICATION: Gerilyn & David 877-885 Main Street LLC
877 Main Street
Block 499, Lot 2
B-1 Business Zone
Waiver of Minor Site Plan

PROJECT DESCRIPTION

The applicant seeks a waiver of minor site plan approval for interior renovations to an existing mixed-use building. The applicant proposes to convert 955 sf of existing second-story storage space into a new two-bedroom apartment.

The subject property contains the following pre-existing non-conforming conditions:

- Minimum front yard setback where 15' is required and 8.9' exists;
- Minimum side yard setback where 5' is required and 4.8' exists;
- Minimum street side yard setback where 7.5' is required and 7.4' exists;
- Maximum lot coverage where 70% is permitted and 93.5% exists; and
- Minimum buffer width where 50' buffer to a residential zone is required and 22' exists.

PROPERTY HISTORY

In 2005, the subject property was granted Preliminary and Final Major Site Plan approval by the Planning Board to establish a mixed residential/retail use by adding a 11,900 sf second story to an existing single-story commercial building to create ten (10) apartments; construct eleven (11) new parking spaces to the rear of the building; and to reconfigure a portion of the existing front parking area. Ten (10) parking spaces in the rear of the building were to be designated as "resident parking only" and two (2) parking spaces in the front were to be designated as "employee parking only."

PROPERTY DESCRIPTION, ZONING AND SURROUNDING LAND USE

The subject property, located in the area known as Campbell's Junction, is 25,552 sf in area, and contains a two-story mixed-use building with commercial uses on the first floor, 10 residential units on the second floor and associated parking in the front and rear of the building. The property has primary frontage along Main Street, secondary frontage along Maple Avenue to the northern elevation of the building and tertiary

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frontage along Midway Drive to the rear of the building. The subject property is located in the B-1 Business Zone and is surrounded by commercial uses to the south and west, single family uses in the R-10 Zone to the north and by a multi-family apartment building to the east.

The subject property contains cross access and parking easements for the adjacent commercial lots 1 (Dunkin Donuts) and 3 (south of the subject building).

PLANNING COMMENTS

1. Minor Site Plan Waiver - Chapter 540-408F of the Middletown Township Land Use Development Regulations permits the Planning Board to grant a waiver of site plan approval for certain applications if the applicant can clearly demonstrate that because of particular conditions relating to the subject property literal enforcement of a formal application for minor site plan is impractical and that the proposal does not noticeably effect the items set forth in the Planning and Development Regulations.

The proposal may be considered for a site plan waiver by the Planning Board under 540-408F(1)(c) as long as the Applicant can confirm that building alterations and additions do not increase the footprint of the structure and do not increase the total gross floor area by 25% or more, provided that adequate parking presently exists on site or is proposed.

The applicant shall indicate in testimony the proposed use(s) for the existing building so that the off-street parking requirement can be calculated and verified. Two (2) parking spaces will be required for the proposed apartment. The parking should be located to the rear of the building along with the other designated "resident only" spaces.

2. Compliance Review of 2005 Conditions of Approval - Additionally, the applicant shall indicate in testimony that the proposed improvements will comply with the 2005 Resolution of Approval. Specifically, ensuring that the designated parking for residents and employees are clearly identified as such.

MISCELLANEOUS COMMENTS

1. Review and approval from the Fire Advisory Review Board is required.
2. Review and approval from TOMSA is required.
3. Contribution to the Affordable Housing Trust Fund will be required at the time of Certificate of Occupancy.

DOCUMENTS REVIEWED

- Written request of checklist waivers, prepared by Gerilyn & David 877-885 Main St LLC, dated November 13, 2025;
- Certificate of Limited Liability Company for Gerilyn and David 877-885 Main Street, LLC, dated July 13, 2025;
- Proposed Interior Alteration Plans, consisting of three (3) sheets, prepared by W. Lerman Architecture, dated September 24, 2024, last revised March 13, 2025;
- Location Survey, prepared by Bertin Engineering, dated August 10, 2012, last revised September 4, 2024;
- NJ Department of Community Affairs Certificate of Registration;
- Deed for subject property;

- Verification that property taxes are current;
- Zoning Officer Denial; and
- Development Permit Application.

We reserve the right to make additional comments based upon the submission of additional documents or testimony presented to the Board.

Report Prepared by:



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Planning Director



Patricia Dunkak
Sustainability Coordinator

LOCATION MAP

